



# MIDTOWN CULTURAL DISTRICT CONDITIONAL USE REQUEST

**DISCUSSION 4/25/2024**  
**PUBLIC HEARING 5/30/2024**

The Applicant is requesting a public hearing to open Abita Paws Grooming Salon in an existing building located at 22155 Level Street.

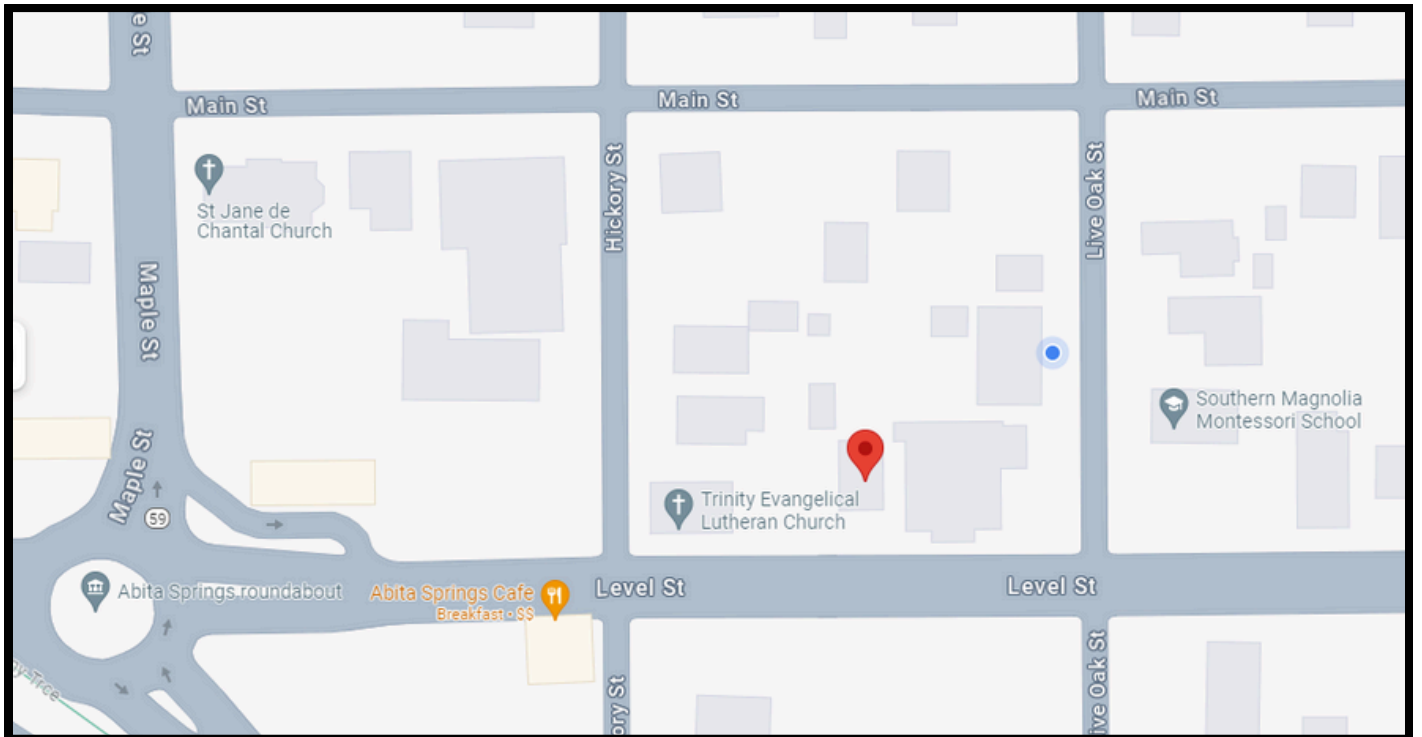
The location is zoned Midtown Cultural District.

This use of "Pet Grooming Salon" is not specifically listed as an allowable use in the Midtown Cultural District.

CURRENTLY the property is for rent. It was previously one of the three buildings being used for Southern Magnolia Montessori but they are no longer renting 22155 Level Street.



# 22155 LEVEL STREET, ABITA SPRINGS, LA 70420



## SEC. 9-218.3. MIDTOWN CULTURAL DISTRICT OF ABITA SPRINGS

(b) In the cultural district, no building or premises shall be used and no building shall be hereinafter erected or structurally altered, unless otherwise provided in this chapter, except for one or more of the following uses:

(c) The commercial and C-2 commercial districts situated in Midtown Cultural Districts only the following uses shall be permitted.

(1) Café style restaurants; in those restaurants where ready to consume unpackaged food is served in individual servings, or in non-disposable containers, where the customer dines while seated at tables or counters located within the building, where there is a full service kitchen which consists of a stove, oven, refrigeration and dishwashing facilities, and where the sale of food constitutes over 60 percent of the total food and alcohol sales for the preceding year or from the commencement of operation of the business, whichever is a shorter period, then notwithstanding the provisions of section 4-308 beverages of any alcoholic content may be sold to dining patrons from a service bar which does not allow access to patrons.

The applicant for any alcohol permit in the Midtown Cultural District shall provide the same food and alcohol sales information to the town as is required by the State of Louisiana Alcohol Tobacco Control authority for the issuance of a Class AR alcohol permit.

Ancillary outdoor use shall be allowed to any café style restaurant.

(2) Art galleries;

(3) Bakeries;

(4) Bicycle sales, rentals and repair shops;

(5) Drug store and pharmacies; (requires special use permit)

(6) Florist;

(7) Grocery store including meats fruits and vegetables;

(8) Medical and dental clinics for human patients only; (requires special use permit)

(9) Stationery and book stores;

(10) Theaters (not drive-in); (requires special use permit)

**(11) Gift shops;**

(12) Hotels/bed and breakfast;

(13) Antique shops;

(14) Art shops;

(15) Beer gardens, pub/tavern;

(16) Candy stores;

(17) Cigar stores; (requires special use permit)

(18) Seafood markets; (requires special use permit)

(19) Craft stores; (requires special use permit)

(20) Jewelry stores;

(21) Leather goods shops;

(22) Musical instruments shops;

(23) Newsstands; (requires special use permit)

(24) Dance studio;

(23) Newsstands; (requires special use permit)

(24) Dance studio;

(25) Broadcasting and recording station;

(26) Retail clothing;

(27) Hardware store;

**(28) Feed store;**

(29) Vegetables and produce;

(30) Art studio;

(31) Coffee shop;

(32) Butcher shop;

(33) Sno-ball stand;

(34) Photography studio;

(35) Museums;

(36) Ice cream parlor;

(37) Banks; (requires special use permit)

(38) Travel agency;

**(39) Barber shop, beauty shops;**

(40) Dry cleaning; (requires special use permit)

(41) Accessory buildings and uses customarily incidental to above listed uses;

(d) No building shall be constructed in the cultural district of a height in excess of 35 feet.

(e) There shall be provided within the commercial and cultural district one parking space for each 300 square feet of commercial building.

**(f) Uses not specifically listed or enumerated in the zoning regulations and chapter must apply for a public hearing before the zoning commission to be held not earlier than the next scheduled zoning commission meeting. The nonlisted enterprises must submit information required by the zoning commission and answer questions for the public and the zoning commission relating to the proposed enterprise. The zoning commission shall make a determination of classification within 90 days of the public hearing.**

(g) No mobile home, modular home, nor automobile sales business or trailer shall be located within the commercial district.

(h) Modular homes are prohibited in the commercial district.

(i) Displays are limited to under beam.

(j) Any use provided for in residential/commercial overlay that is not provided within Midtown Cultural District shall be awarded only with a special use permit.

(k) All uses allowed in [section] 9-215 single-family residential are allowed in the Midtown Cultural District.

(Ord. No. 356, 11-17-2009; Ord. No. 443, 7-16-2013)

# STAFF SUMMARY

4/25/2024

---

**To:** Planning and Zoning Commission

**From:** Planning and Zoning Director Kristin Tortorich

**RE:** Proposed approved use in the Midtown Cultural District

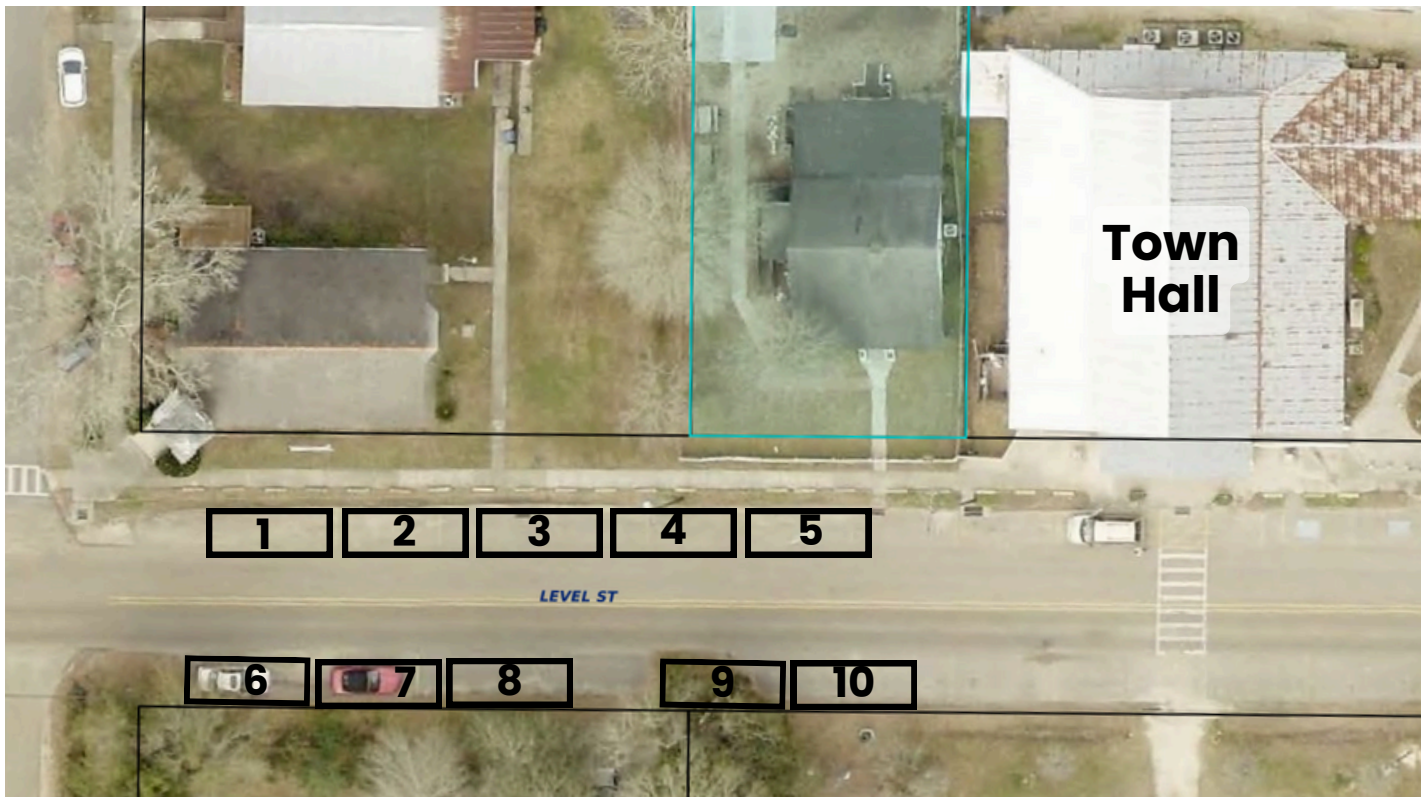
- This parcel is zoned Midtown Cultural District.
- This proposed use of Grooming salon for pets is closely related to # (39) Barber shop, beauty shops. They will also have a small retail area which falls under (11) Gift shops.

## PARKING

*(e) There shall be provided within the commercial and cultural district one parking space for each 300 square feet of commercial building.*

The two buildings are approximately 2,572 Square Feet.

$$2,572 / 3 = 8.57$$



# NEXT STEPS



1. Discussion item in Planning and Zoning- 4/25/2024

2. Advertise Public Hearing for next Meeting 5/30/2024

# INTRODUCTION TO



## GROOMING SALON AND SPA

We are requesting permission to allow the establishment of a dog grooming salon located at 22155 Level Street, Abita Springs, La. The property is currently zoned Commercial but does not list “dog grooming salon” as a specified use.

The property was previously used as a preschool and is currently vacant.

Abita Paws is a newly created grooming business formed by Trisha Thibodeaux. Trisha has over 20 years’ experience in the veterinary field as a Veterinary Technician and has transitioned into the non-medical pet wellness space. Mentored by both her mother, an entrepreneur, former grooming shop owner and certified pet groomer, and a coworker who is a Certified Master Groomer, Trisha has all the resources available to establish a successful grooming business that is an asset to the Abita Springs community.

Abita Paws will offer large and small dog grooming, bathing, de-shedding treatments, cruelty-free, vegan and animal-safe dye application, and special event styling. Cat grooming will also be available. Seasonal events will be held, such as photos with Santa, photos with the Easter Bunny, etc. Additionally, Abita Paws will offer an assortment of retail items, including dog food, treats and supplements, apparel, seasonal items, and pet-themed home décor, making it a one-stop shop for Abita Springs’ pet lovers!





GROOMING SALON AND SPA

## OUR REQUEST

- The property at 22155 Level Street in Abita Springs is not currently zoned for dog grooming salons; however, it is zoned for beauty parlors and barber shops. We feel that amending the use to include a grooming shop is a reasonable request and similar to other uses that are already approved.
- Abita Springs is our home, and we would like to become more involved in the community by becoming business owners in our town. As more and more residents obtain pets and include them in their daily lives, a dog-friendly business near the center of town would be of benefit.
- No changes are needed to the property in order to establish our proposed grooming salon and spa; the only interior addition will be a hydraulic bathtub (housed in the heated/cooled garage) to ensure the safety of the pets we groom.
- The salon and spa will be designed to be a relaxing, calming space for animals as they receive their services.

# THE PROPERTY

- The property has a fenced yard to ensure safety of our client's pets, who will all be leash walked.
- The business owners are committed to ensuring a clean and sanitary environment for the pets they serve, as they would want no less for their own pets.
- The existing building would accommodate up to three groomers, which is the number of groomers proposed for Abita Paws. The existing structures on the property are perfect for the proposed use.
- The business owners have great respect for the character and authenticity of this older building, and would take steps to ensure it is preserved.
- The business owners have received a lot of interest from members of the community regarding the proposed use, and are excited about the potential to bring a fun, family and pet-oriented business to Abita Springs.



# COMMUNITY ASSET

- Abita Paws hopes to become an asset to the Abita Springs community by not only providing needed goods and services, but by participating in and hosting community events. Abita Paws will be open on weekends, when crowds are present in the center of town to attend the Farmer's Market, festivals, cookoffs, etc.
- Abita Paws needs minimal parking space, as pet parents will be present only briefly in order to drop off or pick up their pets for services or purchase goods. Additionally, this location makes Abita Paws within walking distance to lots of pet owners in the town of Abita Springs.
- Abita Paws will patronize other local businesses for supplies whenever possible, and will patronize local restaurants and shops. The employees will also direct clients to area businesses while waiting for their pets' treatments and services to be performed.
- Abita Paws will employ noise-control methods such as soundproofing and bark-minimizing acoustic panels, as well as pet-soothing methods, such as "Through a Dog's Ear" music and dog-appeasing pheromones. The number of pets in the salon at any given time will be limited in order to minimize noise.



# CONCLUSION

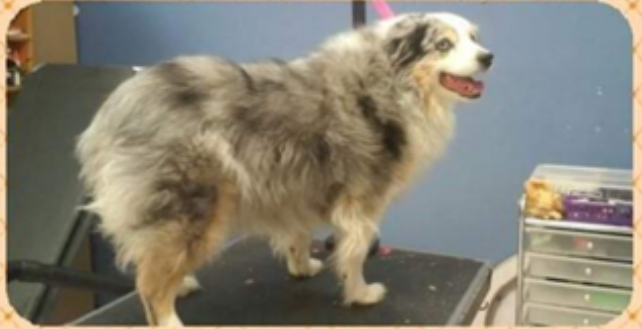
- By allowing the use of this property as a grooming salon, you will be allowing us to provide a needed and heavily desired service to the community.
- There is no other pet grooming salon within the town limits, allowing residents to “buy local” and keep their money in Abita Springs.
- Use as a grooming salon will prevent use as another less desirable business which may cause issues with parking, plumbing, drainage, etc., and will offer some variety to the center of town.
- The business owners are eager to become more involved in the community and want to be “where the action is” in the center of town so they can participate in events and festivals.
- No changes are needed with the exception of a tub, which will be placed in the heated and cooled garage rather than the main building. The historic main building will be preserved and managed with care.



# SOME OF OUR WORK!



Before



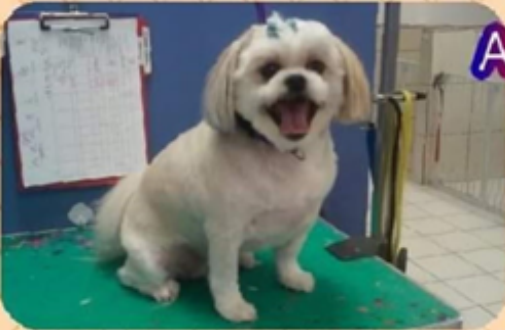
After

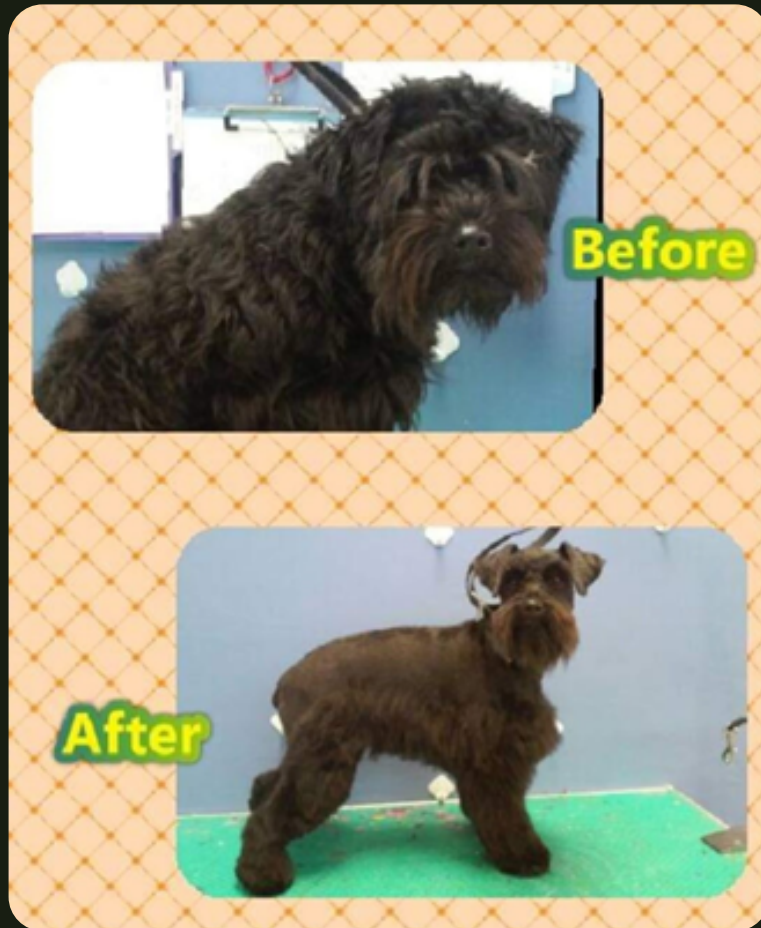


Before



After





*Thank You!*

We would love to serve the  
Abita Springs community.

Thank you for your consideration!



**PROJECT DIRECTORY**

- **OWNER:**  
 LONGBRANCH RECOVERY AND WELLNESS  
 21516 LA-36  
 ABITA SPRINGS, LA 70420  
 T: (504) 677-8463
- **ARCHITECT**  
 CICADA, LLC  
 4933 MAGAZINE STREET, SUITE 202  
 NEW ORLEANS, LA 70115  
 T: (504) 208-1171
- **STRUCTURAL ENGINEERING :**  
 FOXNESBIT ENGINEERING LLC  
 1515 POYDRAS STREET SUITE 1020  
 NEW ORLEANS, LA 70112  
 T: (504) 500-9640
- **MEP ENGINEERING**  
 WDG  
 821 BARONNE STREET  
 NEW ORLEANS, LA 70113  
 T: (504) 754-5280
- **CIVIL ENGINEER :**  
 MARAIS CONSULTANTS  
 900 CAMP STREET  
 NEW ORLEANS, LA 70130  
 T: (504) 350-2644

**ZONING SUMMARY**

ADDRESS	21516 LA-36, Abita Springs, LA 70420
SQUARE	7
LOTS	1-5
LOT AREA	APPROX. 2.85 ACRES
FLOOD ZONE	"AE"
STORMWATER PLAN REQUIRED	
FUTURE CHARACTER AREA	DOWNTOWN // NEIGHBORHOOD CENTER
CULTURAL DISTRICT	MIDTOWN CULTURAL DISTRICT
HISTORIC LANDMARK STATUS	NOT FOR THIS SCOPE OF WORK
BULK & YARD	MAX BLDG HEIGHT: 4 STORIES MAX FRONT YARD: 0 MIN, 12' MAX (NEW BUILDING TO MEET CONTEXTUAL SETBACK) SIDE YARD: 0' CORNER SIDE YARD: 0 MIN, 18' MAX REAR YARD: 5'
PROPOSED USES	IBC 2021 OCCUPANCY CLASSIFICATION: I 1, CONDITION 1 NFPA 101 OCCUPANCY CLASSIFICATION: RESIDENTIAL BOARD AND CARE
GROSS SF	13,440 SF
PARKING	16 SPACES



**PROJECT DESCRIPTION**

NEW BUILDING ADDED TO AN EXISTING CAMPUS FOR AN ADULT RECOVERY CENTER.  
 SCOPE OF WORK INCLUDES A NEW PARKING LOT, LANDSCAPING AND NEW TWO-STORY BUILDING. BUILDING USE TO BE CONSISTENT WITH EXISTING FACILITY.

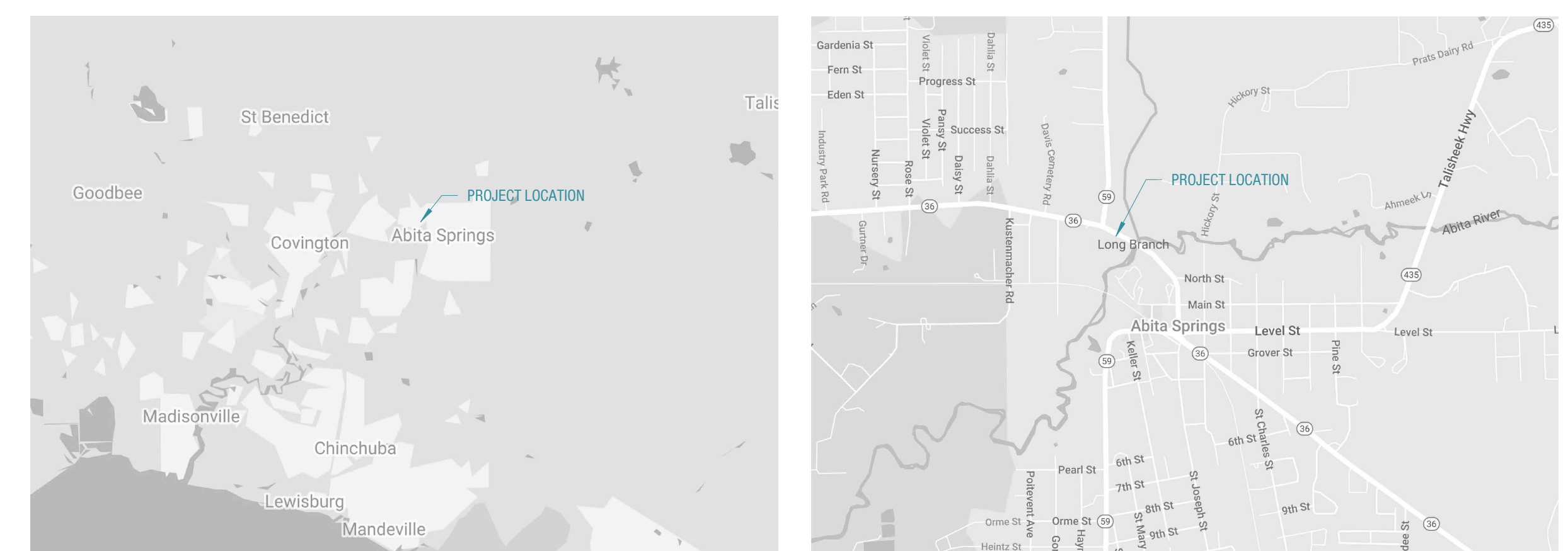
**SQUARE FOOTAGE CALCULATION**

LEVEL 1 CONDITIONED:	8,900 SF
LEVEL 1 UNCONDITIONED:	2,700 SF
LEVEL 2 CONDITIONED:	4,540 SF
LEVEL 2 UNCONDITIONED:	0 SF
GROSS CONDITIONED:	13,440 SF

**SHEET LIST**

1 - GENERAL	
G0.01	TITLE SHEET
G0.02	GENERAL NOTES, ABBREVIATIONS, SYMBOLS
G0.03	SURVEY
2 - CIVIL	
C0.0	COVER SHEET
C0.1	SURVEY
C1.0	SITE PLAN
C2.0	ILLUSTRATIVE DRAINAGE PLAN
C3.0	LANDSCAPE PLAN
8 - ARCHITECTURAL	
A0.01	PROPOSED SITE PLAN
A0.02	LANDSCAPE & LIGHTING PLAN
A1.01	FIRST FLOOR CONCEPT PLAN
A1.02	SECOND FLOOR CONCEPT PLAN
A1.03	ROOF PLAN
A2.01	BUILDING ELEVATIONS
A2.02	BUILDING ELEVATIONS
A2.03	SITE ELEVATION + RENDERINGS

**VICINITY MAPS (NTS)**



CICADA

LONGBRANCH ABITA

EMILY MEYERS  
 21516 LA-36, Abita Springs, LA 70420

PROJECT NO:	123027
PHASE:	PLANNING + ZONING
ISSUED FOR:	
DATE:	03/28/2024

TITLE SHEET

GO.01



# GENERAL NOTES

## 0. CODES:

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL CODES AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
- 2. APPLICABLE CODES:
  - A. 2015 IBC
  - B. 2015 NFPA
  - C. 2006 INTERNATIONAL MECHANICAL CODE
  - D. 2009 FUEL GAS CODE
  - E. 2013 LOUISIANA STATE PLUMBING CODE
  - F. 2011 NATIONAL ELECTRIC CODE
  - G. 2010 ADAAG/ADA

## 1. GENERAL:

- 1. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT TO BE INCORPORATED IN THE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE, AND TO CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (AIA, AISC, ETC.) WHERE APPLICABLE. ALL MATERIALS INCORPORATED INTO THE WORK SHALL BE NEW AND SHALL COMPLY WITH THE PROPER SPECIFICATIONS.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGES, COLLAPSE, DISTORTION, AND OFF ALIGNMENT ACCORDING TO APPLICABLE CODES AND STANDARDS
- 3. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES
- 4. AN ACCURATE AND COMPLETE FINAL SURVEY, MADE BY A LICENSED SURVEYOR, SHALL BE SUBMITTED AFTER COMPLETION OF WORK SHOWING THE LOCATION OF ANY NEW BUILDING AND / OR ANY EXTENSION TO AN EXISTING BUILDING SHOWING ELEVATION OF FIRST FLOOR, FINISHED GRADES OF OPEN SPACES, ESTABLISHED CURB LEVEL, LOCATION OF OTHER STRUCTURE ON LOT, LOCATION AND BOUNDARIES OF LOT, APPLICATION FOR CERTIFICATE OF OCCUPANCY.
- 5. DO NOT SCALE DRAWINGS FOR DIMENSIONS! CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK.
- 6. ALL MEANS OF EGRESS TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, TYP.
- 7. IN THE EVENT A CONSTRUCTION DRAWING CONTAINS AN ITEM OR ITEMS REFERENCING ANOTHER DISCIPLINE'S DRAWINGS, SUCH AS "REFER TO STRUCTURAL" OR "SEE CIVIL", THE CONTRACTOR SHALL HAVE ALLOWED FOR THE PROVISION OF THAT ITEM WHETHER SHOWN OR INDICATED IN THE OTHER DISCIPLINE OR NOT.

## 2. TYPE OF CONSTRUCTION / OCCUPANCY:

- 1. ALL NEW CONSTRUCTION SHALL BE CONSTRUCTED TO MEET OR EXCEED THE MINIMUM REQUIREMENTS FOR TYPE V-A, PROTECTED WOOD FRAME CONSTRUCTION AS DEFINED BY THE CODE.
- 1. THE BUILDING IS OCCUPANCY 2021 IBC CLASSIFICATION: I-1, CONDITION 1 AND NFPA 101 OCCUPANCY CLASSIFICATION: RESIDENTIAL BOARD AND CARE.

## 3. DEMOLITION, UTILITIES & EXCAVATION:

- 1. LOCATE EXISTING UTILITY LINES INCLUDING: ELECTRICAL, SEWER, WATER, GAS, TELEPHONE, STEAM, FIBER OPTIC, ETC. NOTE THAT THE SITE AND PUBLIC PROPERTY CONTAINS UNDERGROUND UTILITY LINES. THE DRAWINGS SHOW DIAGRAMMATICALLY THE APPROXIMATE LOCATION OF UNDERGROUND UTILITIES WHERE INFORMATION IS AVAILABLE. BUT THE DRAWINGS ARE NOT EXACT AS TO THE QUANTITY, EXTENT, OR LOCATION. VERIFY IN FIELD PRIOR TO CONSTRUCTION OR DEMOLITION.
- 2. EXERCISE CAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES. RECORD LOCATION OF DISCONNECT AND CAP AS NECESSARY, AND REPAIR DAMAGE TO EXISTING UTILITIES WHICH ARE ENCOUNTERED AS A RESULT OF WORK UNDER THIS CONTRACT.
- 3. THE PROJECT REQUIRES DEMOLITION OF SOME AREAS OF EXISTING CONSTRUCTION. EXERCISE CAUTION TO PROTECT ALL AREAS OF EXISTING CONSTRUCTION THAT ARE TO REMAIN AS PART OF THE FINAL CONSTRUCTION. REPAIR ANY AND ALL AREAS THAT ARE TO REMAIN AS PART OF THE FINAL CONSTRUCTION THAT ARE DAMAGED DURING THE DEMOLITION PROCESS.
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS, AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, DISTRICT, STATE, AND LOCAL REQUIREMENTS AND ORDINANCES.

## 4. COORDINATION:

- 1. LOCATION OF ALL EXISTING CONSTRUCTION SHOWN IN THE DRAWINGS AND THREE-DIMENSIONAL FILES IS APPROXIMATE BASED ON EXISTING SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND ALL EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE START OF WORK.
- 2. SHOULD THE SPECIFICATIONS HAVE NO SPECIFIC PROVISIONS OR DESCRIPTIONS ON PARTICULAR MATERIALS OR KIND OF GOODS TO BE USED IN ANY PLACE, THEN IT SHALL BE THE DUTY OF THE CONTRACTOR TO SUBMIT A REQUEST FOR INTERPRETATION. THE CONTRACTOR SHALL BE DEEMED TO HAVE INCLUDED THE HIGHEST QUALITY OF MATERIAL AND MEANS OF COMPLETING THE WORK IN THE CONTRACT.
- 3. STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, LIGHTING, SECURITY, FIRE PROTECTION, LANDSCAPE, SIGNAGE & OTHER DRAWINGS AND MODELS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS AND MODELS. BUT TOGETHER WITH THE ARCHITECTURAL DRAWINGS AND MODELS FORM RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, LIGHTING, SECURITY, PLUMBING, FIRE PROTECTION AND LANDSCAPE WORK. SHOULD THERE BE A DISCREPANCY DISCOVERED BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTANT DISCIPLINE'S DRAWINGS, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. CONTRACTOR SHALL NOT, EITHER KNOWINGLY OR IF HE SHOULD HAVE KNOWN BASED ON INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS, INSTALL WORK IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS. ANY SUCH WORK SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THIS PROJECT.
- 4. IN THE EVENT OF CONFLICT BETWEEN THE DRAWINGS, COMPUTER DATABASE, AND SPECIFICATIONS, OR WITH THEMSELVES, THE ARCHITECT WILL DETERMINE WHICH CONFLICTING REQUIREMENT GOVERNS. CONTRACTOR SHALL VERIFY THE DIMENSIONS, ELEVATIONS, AND ALL EXISTING CONDITIONS AND CONSTRUCTION AT THE SITE, AND SHALL REPORT TO THE ARCHITECT, IN WRITING, DISCREPANCIES BETWEEN ACTUAL EXISTING CONDITIONS AND THE DRAWINGS AND COMPUTER DATABASE FOR THE ARCHITECT'S DECISION AND INSTRUCTIONS BEFORE PROCEEDING WITH WORK AFFECTED BY SUCH DISCREPANCIES. IF ANY DISCREPANCY OR CONFLICT OCCURS BETWEEN THE DRAWINGS, COMPUTER DATABASE, AND SPECIFICATIONS, OR ERRORS EXIST IN ANY OF THE DRAWINGS, COMPUTER DATABASE, OR SPECIFICATIONS, THE SITUATION SHALL BE REPORTED TO THE ARCHITECT IN WRITING AND THE ARCHITECT WILL ISSUE A CLARIFICATION.

- 5. ALL MANUFACTURED MATERIALS USED SHALL BEAR THE APPROPRIATE MEA, BSA, OR U.L. LABELS.
- 6. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THESE PROJECTS.
- 7. VALVES, CONTROLS, AND TERMINATIONS SHALL BE POSITIONED FOR SAFE, DIRECT, AND EASY ACCESS. PIPING AND OUTWORK SHALL BE INSTALLED FOR CONVENIENT FUTURE ADDITIONS AND MODIFICATIONS.
- 8. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES AND PARTITIONS AND ALL WALL-MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, PLUMBING OR MISCELLANEOUS EQUIPMENT.
- 9. CONTRACTOR'S MATERIALS AND ACTIVITIES SHALL NOT BLOCK ANY EXIT OR IMPAIR FLOOR-TO-FLOOR FIRE SEPARATION WHILE THE BUILDING IS OCCUPIED.

- 10. CONTRACTOR SHALL VERIFY ALL CONCRETE AND EXISTING OPENINGS IN THE FIELD PRIOR TO THE FABRICATION OF DOORS AND FRAMES.
- 11. CONTRACTOR TO COORDINATE THE EXACT DIMENSIONS, SIZES, AND POSITIONS OF OPENINGS IN SLABS AND WALLS AND COORDINATE PLUMBING AND MECHANICAL DRAWINGS FOR STRUCTURAL BEAMS TO BE SLEEVED PRIOR TO COMMENCING STRUCTURAL WORK.
- 12. SPECIFIC NOTES OR KEYNOTES ON DRAWINGS APPLY TO SIMILAR CONDITIONS ON OTHER DETAILS ON ALL DRAWINGS UNLESS NOTED OTHERWISE.
- 13. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING THE WORK. MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS, GEOMETRY, OR CONDITIONS AND SHALL BE MADE PART OF THE WORK AT NO ADDITIONAL COST TO THIS PROJECT.

- 14. DRAWINGS/DETAILS IDENTIFY THE GENERAL MATERIALS TO BE USED IN THE CONSTRUCTION. SEE SPECIFICATION FOR SPECIFIC MATERIAL TYPES AND LOCATIONS TO BE USED.

## 5. CEILING SYSTEMS:

- 1. COORDINATE THE PLACEMENT OF CEILING ELEMENTS WITH TRADES. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION REQUIREMENTS, REVIEW THE CONDITIONS WITH THE ARCHITECT PRIOR TO PROCEEDING. ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THIS PROJECT.
- 2. ALIGN CEILING DEVICES (SPEAKERS, SPRINKLERS, GRILLES, REGISTERS, ETC.) WITH THE CENTERLINE OF LIGHTING FIXTURES, UNLESS NOTED OTHERWISE. FINAL LOCATION TO BE APPROVED BY THE ARCHITECT.

## 6. ACCESS PANELS:

- 1. PROVIDE ACCESS PANELS AT WALL AND CEILING LOCATIONS FOR ELECTRICAL, PLUMBING, AND AIR CONDITIONING CONTROLS, VALVES, DAMPERS, COUNTER FIRE SHUTTERS, OR OTHER DEVICES AS REQUIRED BY THE WORK AND MAINTENANCE, AND APPLICABLE EVEN IF ACCESS PANELS ARE NOT SHOWN ON CONTRACT DOCUMENTS. ACCESS PANELS THAT ARE SHOWN ON THE DRAWINGS SHALL BE INSTALLED IN LOCATIONS AS SHOWN AND DIMENSIONED, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION INDICATING THE LOCATIONS OF ALL ACCESS PANELS.

## 7. FIRE PROTECTION:

- 1. THE BUILDING IS/ISN'T A FULLY SPRINKLED STRUCTURE
- 2. CONSULT THE FIRE AUTHORITY HAVING JURISDICTION REGARDING ACCESS ROADS, GATES IN PERIMETER FENCES, AND LOCATION OF FIRE HYDRANTS, FIRE DEPARTMENT PUMPER CONNECTIONS, PORTABLE FIRE EXTINGUISHERS, AND FIRE PROTECTION DURING CONSTRUCTION. PROVIDE REQUIRED ACCESS AND EQUIPMENT.
- 3. OBTAIN PERMITS FOR A COMPLETE FIRE PROTECTION SYSTEM REQUIRED BY LOCAL AUTHORITIES AND FIRE DEPARTMENTS.
- 4. FIRE-RATED CONSTRUCTION INCLUDING WALLS, FLOORS, ROOFS, SHAFTS, COLUMNS, ETC. SHALL CONFORM IN EVERY PARTICULAR WITH LOCAL AGENCIES' CUSTOM DESIGNS WHICH COMBINE COMPONENTS FROM DIFFERENT APPROVED DESIGNS, BUT HAVE NOT BEEN TESTED AS A COMPLETE ASSEMBLY WILL NOT BE ACCEPTABLE WITHOUT WRITTEN APPROVAL FROM THE LOUISIANA STATE FIRE MARSHALL
- 5. FIRE AND SMOKE DAMPERS SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF LASFM, AND PROJECT SPECIFICATIONS. CONSULT SPECIFICATION FOR SPECIFIC TYPES OF FIRE DAMPERS TO BE USED IN SPECIFIC LOCATIONS.
- 6. FIRE EXTINGUISHERS: WHETHER SHOWN OR NOT, PROVIDE PORTABLE FIRE EXTINGUISHERS THROUGHOUT THE BUILDING IN ACCORDANCE WITH IBC 2015


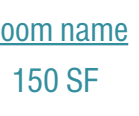

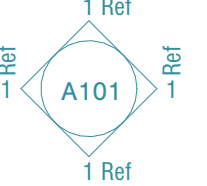





## 8. EXITS:

- 1. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- 2. EXIT DOORS AND DOORS PROVIDING ACCESS TO EXITS SHALL BE SELF CLOSING DOORS
- 3. PANIC HARDWARE SHALL BE PROVIDED ON EXIT DOORS
- 4. WHERE REQUIRED, LOCATION OF EVERY EXIT ON EVERY FLOOR SHALL BE CLEARLY INDICATED BY EXIT SIGNS, PLACED, IF REQUIRED, AT AN ANGLE WITH THE EXIT OPENING. INSTALL DIRECTIONAL SIGNS TO SERVE AS WAY FINDING FROM ALL PORTIONS OF THE CORRIDOR OR FLOOR
- 5. EGRESS ILLUMINATION AND POWER SOURCE FOR ILLUMINATION SHALL BE PROVIDED AS REQUIRED PER CODE.
- 6. DOOR JAMBS OR STOPS AND THE DOOR THICKNESS WHEN OPEN, SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN HALF OF THE HALLWAY.
- 7. THE MINIMUM NOMINAL WIDTH OF CORRIDOR AND EXIT DOOR OPENINGS SHALL BE THIRTY-SIX INCHES, EXCEPT THAT WHERE A DOOR OPENING IS DIVIDED BY MULLIONS, THE MINIMUM NOMINAL WIDTH OF EACH SUCH OPENING SHALL BE THIRTY-TWO INCHES.

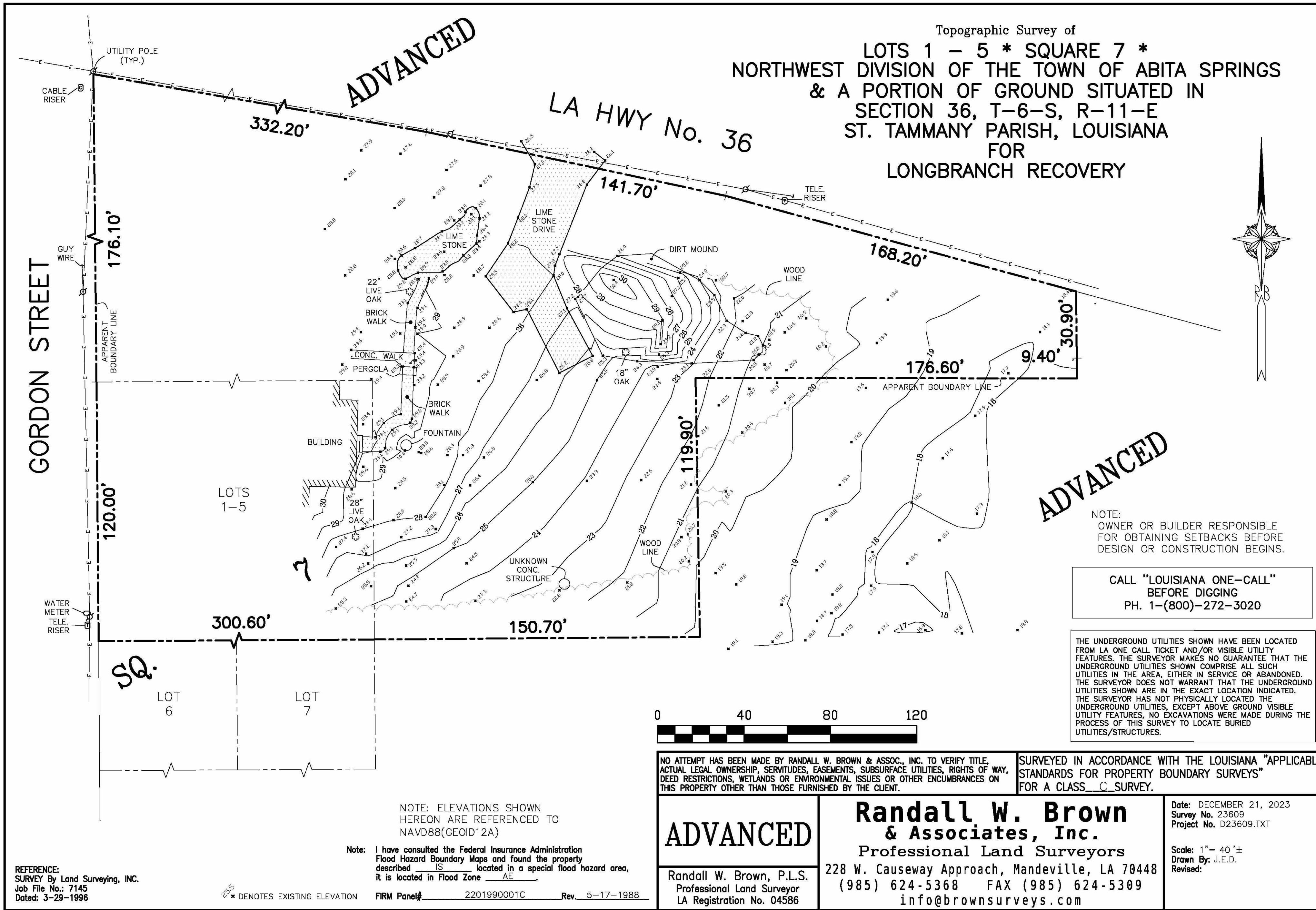
# ABBREVIATIONS

AC:	AIR CONDITIONING	MECH:	MECHANICAL
ACI:	AMERICAN CONCRETE INSTITUTE	MED:	MEDIUM
ACT:	ACOUSTICAL TILE	MET:	METAL
AD:	AREA DRAIN	MFR:	MANUFACTURER
ADAAG:	AMERICANS WITH DISABILITIES ACT ARCHITECTURAL GUIDELINES	MH:	MANHOLE
ADJ:	ADJUST, ADJUSTABLE, ADJACENT	MIR:	MIRROR
AF:	ABOVE FINISHED FLOOR	MISC:	MISCELLANEOUS
ALUM:	ALUMINUM	MOLD:	MOLDING
APPROX:	APPROXIMATE	MO:	MASONRY OPENING
APT:	APARTMENT	MULL:	MULLION
ARCH:	ARCHITECTURAL	NEC:	NATIONAL ELECTRICAL CODE
		NEUT:	NEUTRAL
BD:	BOARD	NIC:	NOT IN CONTRACT
BLDG:	BUILDING	NRC:	NOISE REDUCTION COEFFICIENT
BLK:	BLOCK	NTS:	NOT TO SCALE
BLKG:	BLOCKING		
BR:	BEDROOM		
BSMT:	BASEMENT	OC:	ON CENTER
BTU:	BRITISH THERMAL UNITS	OD:	OUTSIDE DIAMETER
		OFF:	OFFICE
CAB:	CABINET	OH:	OPPOSITE HAND
BD:	CATCH BASIN	OPP:	OPPOSITE
CPT:	CARPET		
CF:	CONTRACTOR FURNISHED		
CF:	CONTRACTOR FURNISHED OWNER INSTALLED	P:	PAINT
CL:	CENTERLINE	P. LAM:	PLASTIC LAMINATE
CLG:	CEILING	PCF:	POUNDS PER CUBIC FOOT
CMU:	CONCRETE MASONRY UNIT	PCPL:	PORTLAND CEMENT PLASTER
CONC:	CONCRETE	PERF:	PERFORATE
CONTR:	CONTRACTOR	PWK:	PARKING
CORR:	CORRIDOR	PLBG:	PLUMBING
CPT:	CARPET	PLYWD:	PLYWOOD
CSMT:	CASEMENT	PLUMB:	PLUMBING
CT:	CERAMIC TILE	PREFAB:	PREFABRICATED
		PSF:	POUNDS PER SQUARE FOOT
DBL:	DOUBLE	PSI:	POUNDS PER SQUARE INCH
DEPT:	DEPARTMENT	PSIG:	POUNDS PER SQUARE INCH GAGE
DET:	DETAIL	PT:	PAINT, POINT, PART, POTENTIAL TRANSFORMER
DF:	DRINKING FOUNTAIN	PTC:	POST-TENSIONED CONCRETE
DIA:	DIAMETER	PTD:	PAINTED, PAPER TOWEL DISPENSER
DIAM:	DIAMETER	PWD:	PLYWOOD
DIFF:	DIFFUSER	QUAL:	QUALITY
DN:	DOWN	QUANT:	QUANTITY
DR:	DOOR	QT:	QUARRY TILE, QUART
DS:	DOWNSPOUT	QTR:	QUARTER
DSP:	DRY STANDPIPE	QTY:	QUANTITY
DWG:	DRAWING		
		RAD:	RADIUS, RADIATOR
EA:	EACH	RB:	RUBBER, RUBBER BASE, RESILIENT BASE
EC:	EXPOSED CONSTRUCTION	RD:	ROOF DRAIN, ROUND, RECEPTACLE DISTRIBUTION PANEL
EJ:	EXPANSION JOINT	REF:	REFERENCE
EL:	ELEVATION	REF:	REINFORCEMENT, OR REINFORCE
ELEV:	ELEVATOR	RESIL:	RESILIENT
EXH:	EXHAUST	RM:	ROOM
EXP:	EXPANSION, EXPOSED	RO:	ROUGH OPENING
EXT:	EXTERIOR, EXTINGUISH	RT:	RUBBER TILE, RIGHT
		RWD:	REDWOOD
FA:	FIRE ALARM, FRESH AIR	S:	SOUTH
FD:	FLOOR DRAIN	SC:	SOLID CORE
FDC:	FIRE DEPARTMENT CONNECTION	S. CONC:	SEALED CONCRETE
FE:	FIRE EXTINGUISHER	SCHED:	SCHEDULE
FE:	FIRE EXTINGUISHER CABINET	SOW:	SOLID CORE WOOD
FFE:	FINISHED FLOOR ELEVATION	SD:	SOLID CORE
FF&E:	FIXTURES, FURNISHINGS & EQUIPMENT	SECT:	SECTION
FIX:	FIXTURE	SF:	SQUARE FOOT
FL:	FLOOR, FIRE LINE	SGG:	STRUCTURAL GLAZING GASKET
FLASH:	FLASHING	SHTHG:	SHEATHING
FLG:	FLOORING	SHWR:	SHOWER
FLEX:	FLEXIBLE	SIG:	SIGNAL
FLG:	FLANGE, FLASHING, FLOORING	SM:	SIMILAR
FLR:	FLOOR	SKL:	SKYLIGHT
FLUOR:	FLUORESCENT	SPEC:	SPECIFICATION
FO:	FINISHED OPENING	SPK:	SPEAKER
FOC:	FACE OF CONCRETE	SPR:	SPRINKLER
FOF:	FACE OF FINISH	STC:	SOUND TRANSMISSION CLASS
FOS:	FACE OF STUDS	STD:	STANDARD
FP:	FIREPROOF	STOR:	STORAGE
FRM:	FRAME	STRUC:	STRUCTURAL
FRPF:	FIREPROOF	SUPP:	SUPPLEMENTARY
FT:	FOOT	SW:	SWITCH
FURN:	FURNITURE	SY:	SQUARE YARD
		SYM:	SYMMETRICAL
GA:	GAUGE, GAGE	T&B:	TOP AND BOTTOM
GALV:	GALVANIZED	T&G:	TONGUE & GROOVE
GC:	GENERAL CONTRACTOR	TEL:	TELEPHONE
GF:	GROUND FACE	TEMP:	TEMPORARY
GF:	GROUND FAULT INTERRUPTED	THK:	THICK
GRG:	GLASS FIBER REINFORCED CONCRETE	THR:	THRESHOLD
GL BLK:	GLASS BLOCK	TO:	TOP OF
GYP BD:	GYPSUM BOARD	TOC:	TOP OF CONCRETE
		TOP:	TOP OF PARAPET
H:	HIGH	TOS:	TOPE OF STEEL
HB:	HOSE BIB	TOW:	TOP OF WALL
HC:	HANDICAPPED	TP:	TOP OF PAVEMENT
HDR:	HEADER	THRMS:	THERMOSTAT
HDWD:	HARDWOOD	THRU:	THROUGH
HDWE:	HARDWARE	TKBD:	TACKBOARD
HEX:	HEXAGONAL	TOL:	TOLERANCE
HGR:	HANGER	TV:	TELEVISION
HGT:	HEIGHT	TYP:	TYPICAL
HM:	HOLLOW METAL	TZ:	TERRAZZO
HORIZ:	HORIZONTAL		
HTG:	HEATING	UL:	UNDERWRITERS' LABORATORIES
HTR:	HEATER	UNF:	UNFINISHED
HVAC:	HEATING, VENTILATING & AIR CONDITIONING	UNO:	UNLESS NOTED OTHERWISE
HWH:	HOT WATER HEATER	UON:	UNLESS OTHERWISE NOTED
HWS:	HOT WATER SUPPLY	UT:	UTILITY
		VCT:	VINYL COMPOSITION TILE
ID:	INSIDE DIAMETER	VENT:	VENTILATE
IE:	INVERT ELEVATION	VEST:	VESTIBULE
IN:	INCH	VF:	VINYL FABRIC
INSUL:	INSULATION	VFGT:	VINYL FOAM GLAZING TAPE
INTM:	INTERMEDIATE	VIF:	VERIFY IN THE FIELD
INV:	INVERT	VT:	VINYL TILE
JAN:	JANITOR	VTR:	VENT THROUGH ROOF
JT:	JOINT		
		W/:	WITH
KIP:	1000 POUNDS	W/O:	WITHOUT
		WB:	WOOD BASE
L:	LENGTH	WC:	WATERCLOSET
LAB:	LABORATORY, LABOR	WD:	WOOD
		WDW:	WINDOW
LAM:	LAMINATE, LAMINATED	WH:	WATER HEATER
LAV:	LAVATORY	WP:	WATERPROOF
LAB:	LABORATORY	WT:	WEIGHT
LF:	LINEAR FOOT		
LL:	LINE LOAD		
LNDC:	LANDING		
LNLT:	LINTEL		
LTG:	LIGHTING		
LVR:	LOUVER		
LWC:	LIGHT WEIGHT CONCRETE		

# CICADA SYMBOL LEGEND

- CALLOUT HEAD → 
- AREA TAG → 
- DOOR TAG → 
- ELEVATION MARKER → 
- GRID MARKER → 
- LEVEL HEAD → 
- NORTH ARROW → 
- ELEVATION → 
- STAIR ANNOTATION → 

PROJECT NO:	123027
PHASE:	PLANNING + ZONING
ISSUED FOR:	
DATE:	03/28/2024

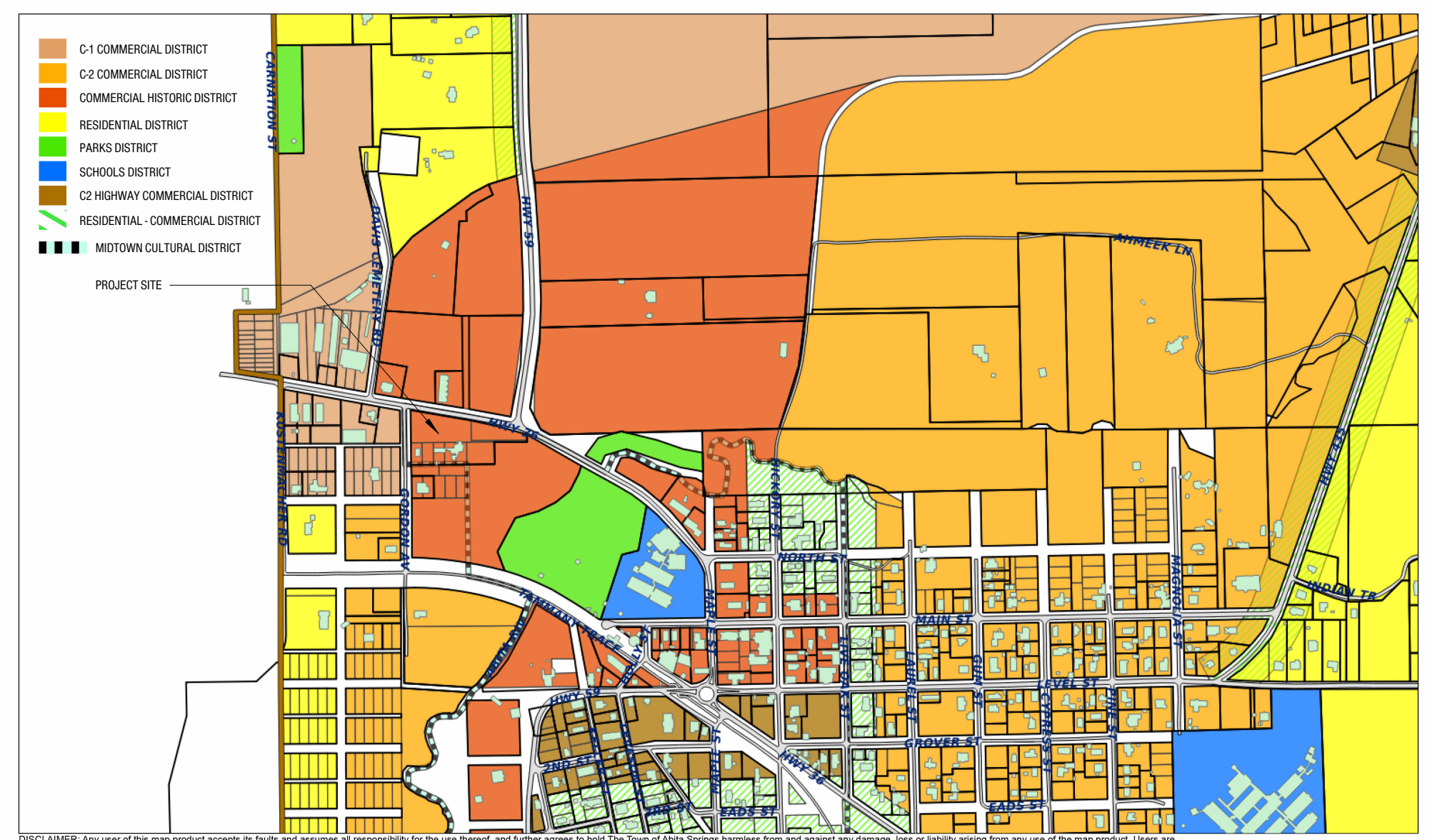


CICADA

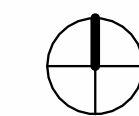
LONGBRANCH ABITA

EMILY MEYERS  
21516 LA-36, Abita Springs, LA 70420

**SURVEY**



LANDUSE / ZONING PLAN



PROJECT NO: 123027  
 PHASE: PLANNING + ZONING  
 ISSUED FOR:  
 DATE: 03/28/2024

SURVEY

**GO.03**

INDEX TO SHEETS

SHEET NO.	TITLE
C0.0	TITLE SHEET
C0.1	SURVEY
C1.0	SITE PLAN
C2.0	ILLUSTRATIVE DRAINAGE PLAN
C3.0	LANDSCAPE PLAN
5	TOTAL

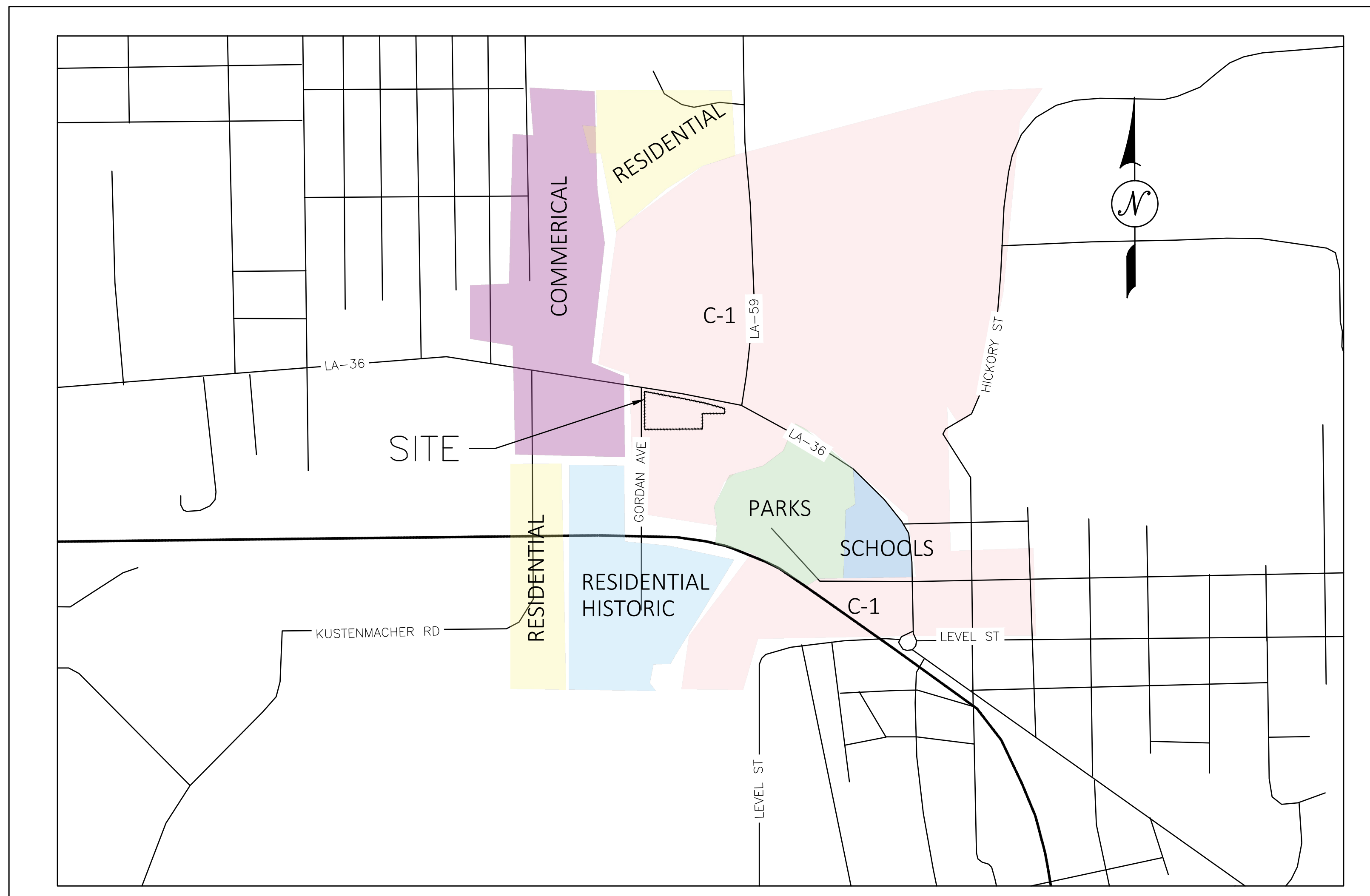
# LONGBRANCH ABITA

21516 LA-36  
ABITA SPRINGS, LOUISIANA

LONGBRANCH ABITA



VICINITY MAP  
NTS



AREA MAP  
1:500

**MARAIS**  
CONSULTANTS, LLC  
2018 JENA STREET  
NEW ORLEANS, LA 70115  
504.350.2644  
maraisconsultants.com  
PROFESSIONAL OF RECORD:  
jeny@maraisconsultants.com

REV. NO.	DATE	DESCRIPTION

LONGBRANCH ABITA  
21516 LA-36, ABITA SPRINGS, LA 70420

DRAWN BY: CAP  
CHECKED BY: JMS  
DATE: MARCH 28, 2024  
ISSUE: PLANNING + ZONING  
DRAWING SIZE: 24"x36"

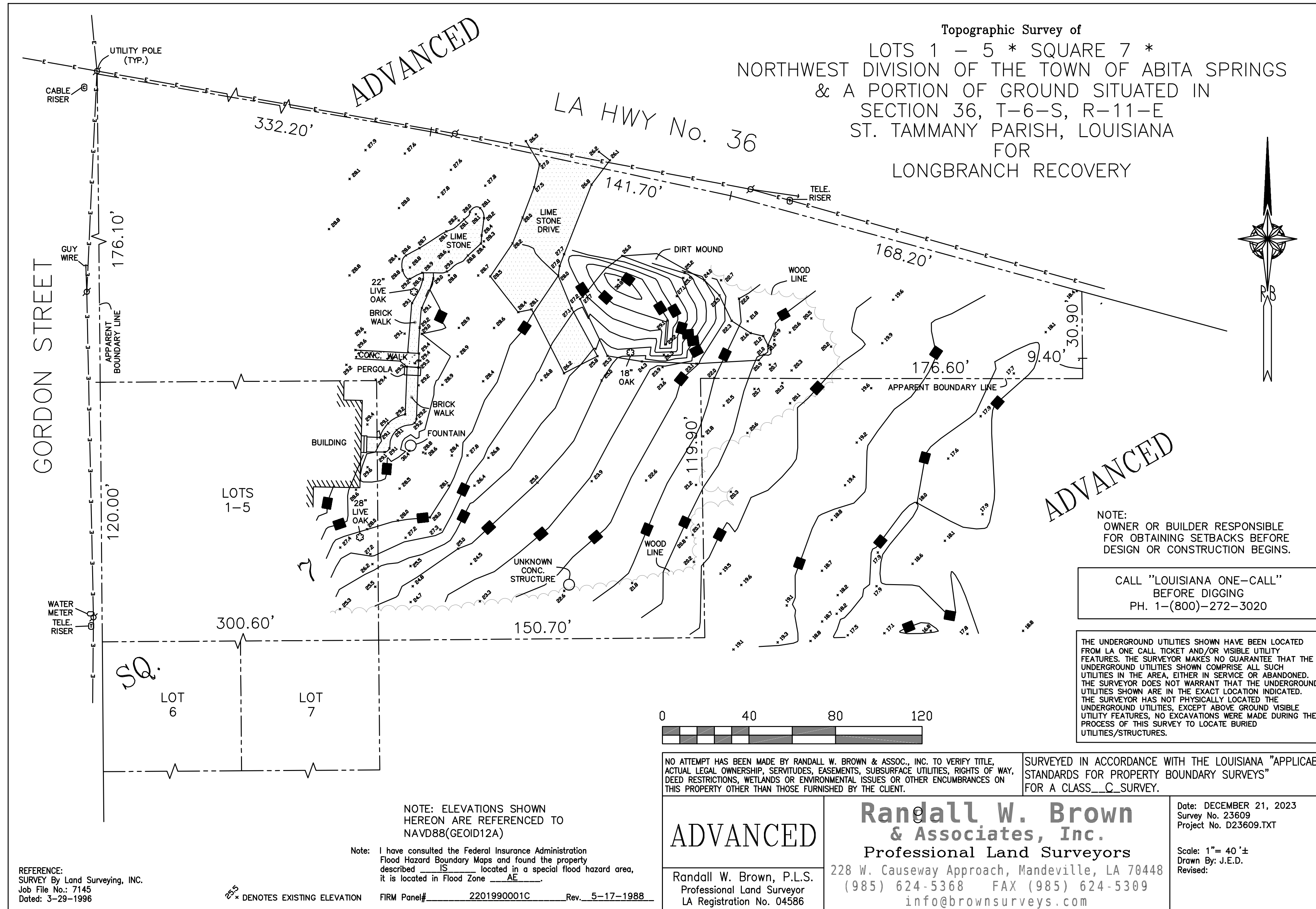
**PRELIMINARY**  
THIS DOCUMENT IS NOT TO BE USED  
FOR CONSTRUCTION, RECORDING,  
RECORDATION CONVEYANCE, SALES  
OR AS THE BASIS FOR THE ISSUANCE  
OF A PERMIT

COVER SHEET

SHEET:  
**C0.0**

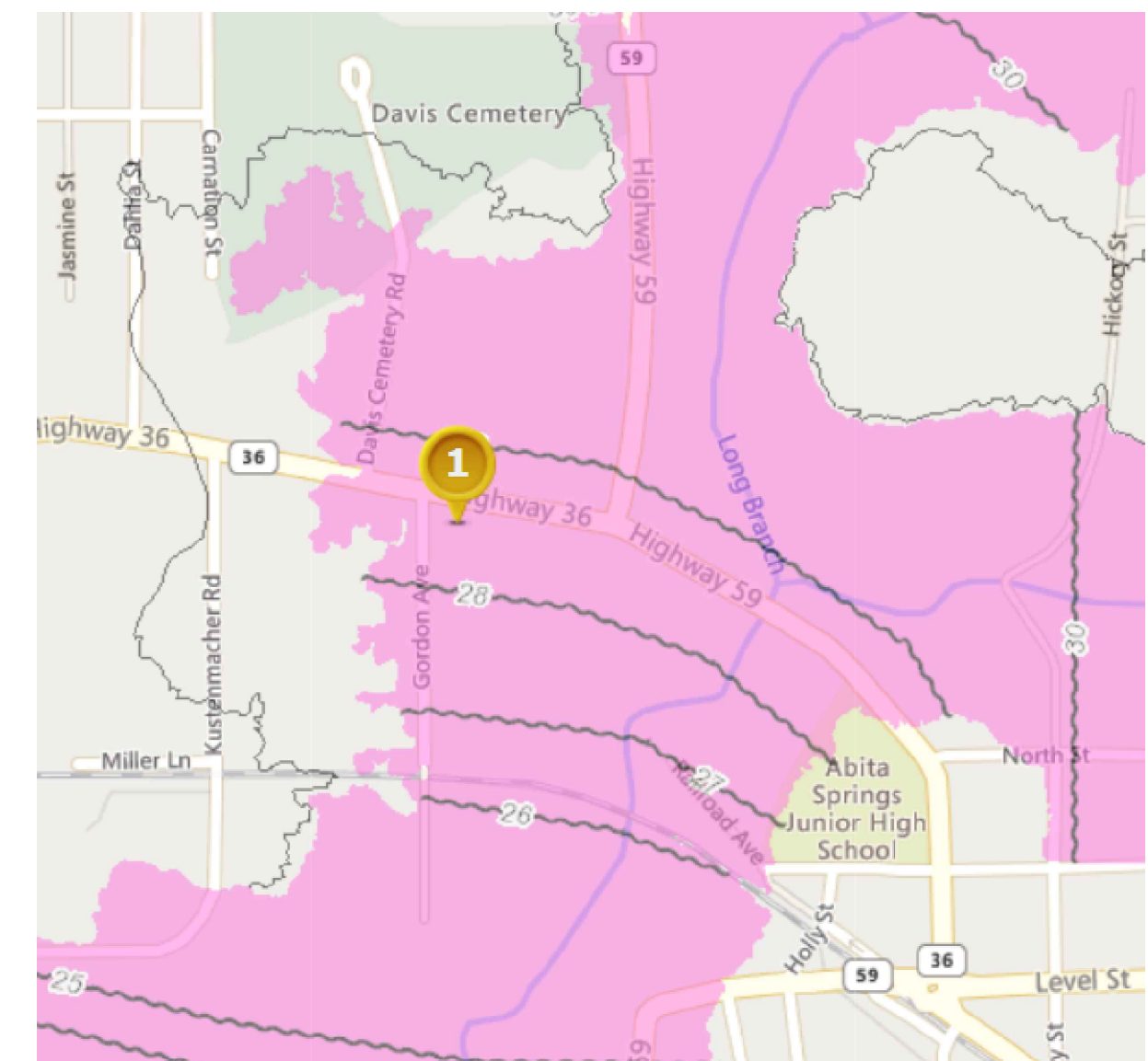
# EXISTING CONDITIONS AND SURVEY BY OTHERS

**MARAIS**  
 CONSULTANTS, LLC  
 2018 JENA STREET  
 NEW ORLEANS, LA 70115  
 504.350.2644  
 maraisconsultants.com  
 PROFESSIONAL OF RECORD:  
 jenny@maraisconsultants.com



Copyright 2024 - Randall W. Brown & Associates, Inc.  
 D:\SurveyShared\23SURVEY\23609.dwg

**ENTIRE SITE IS LOCATED IN A AE FLOOD ZONE**



**Pt. 1 (30.4823, -90.0425)**

Community: Abita Springs

Preliminary FIRM (Issued: 04/30/2008)  
 Flood Zone: AE  
 FIRM Panel ID: 22103C0306F  
 Preliminary FIRM Panel Date: 04/30/2008  
 Effective FIRM (Effective: Varies)  
 Flood Zone: AREA NOT INCLUDED  
 FIRM Panel ID: Not Avail  
 FIRM Panel Date: Varies  
 Ground Elevation<sup>1</sup>: 27.5 ft

Community Info What Does This Mean?

FLOOD ZONE DATA FROM LSU AG FLOOD MAPS  
<http://maps.lsuagcenter.com/floodmaps/>

**LONGBRANCH ABITA**  
 21516 LA-36, ABITA SPRINGS, LA 70420

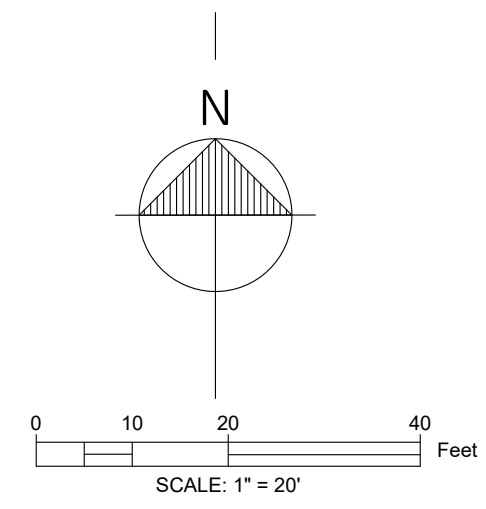
REV. NO.	DATE	DESCRIPTION

DRAWN BY: CAP  
 CHECKED BY: JMS  
 DATE: MARCH 28, 2024  
 ISSUE: PLANNING + ZONING  
 DRAWING SIZE: 24"x36"

**PRELIMINARY**  
 THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, RECORDING, RECORDATION CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT

SURVEY

SHEET:  
**C0.1**



**SITE PLAN LEGEND**

1	6" BARRIER CURB AND GUTTER	11	PLANTING AREAS. REF LANDSCAPE PLAN ON C3.0
2	NEW BICYCLE PARKING. SEE ARCH FOR BICYCLE RACK DETAILS	12	PERMEABLE PAVERS
3	4" CONCRETE SIDEWALK	13	PERVIOUS PAVERS ADJACENT TO EXISTING SIDEWALK.
4	VEHICULAR PAVEMENT	14	INSTALL TREE PROTECTION FENCING AROUND EXISTING TREES. REF. LANDSCAPE PLAN C3.0.
5	STRIPING FOR PARKING STALLS	15	TRENCH FOR NEW UTILITY LINE. REMOVE AND REPLACE ASPHALT TO MATCH EXISTING
6	WHEEL STOPS PER ARCH	16	NEW WOODEN STAIRS
7	HANDICAP STRIPING AND SYMBOL.	17	DUMPSTER PAD ENCLOSURE
8	BOLLARD SIGNS FOR HANDICAP PARKING STALLS.	18	8' WOOD FENCE TO ENCLOSE DUMPSTER AREA
9	CONCRETE D/W PER LADOTD STANDARDS.	19	STEEL EDGE ALONG EDGE OF PERVIOUS PAVERS
10	CONCRETE RAMP W/ HANDRAIL. REF. ARCH AND STRUCTURAL		

**SITE PLAN NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK, VERIFYING ALL MEASUREMENTS AND GRADES AND REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE STARTING CONSTRUCTION.
- ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO CITY OF NEW ORLEANS DPW TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENTS OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY.
- REFER TO BOUNDARY SURVEY FOR EXISTING MONUMENTS TO LAYOUT PROPERTY LINE.
- BRING UP GRADE UNDER ALL PAVEMENT WITH STRUCTURAL FILL COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE FROM:
  - FACE OF CURB TO FACE OF CURB
  - FACE OF CURB TO PROPERTY LINE
  - FACE OF CURB TO CENTER OF STRUCTURE (DROP INLET, MANHOLE, ETC.)
  - PROPERTY LINE TO BUILDING FACE
- ALL CURB RADII SHALL BE 3 FEET UNLESS OTHERWISE NOTED ON THIS PLAN.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHOWN ON THE APPROVED PLANS FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL INSPECTION.

**STORMWATER MANAGEMENT NOTE:**

- ALL PERMEABLE PAVING INSTALLATIONS SHALL BE SUBJECT TO INFILTRATION TESTING AFTER INSTALLATION. TESTING SHALL BE CONDUCTED ACCORDING TO THE ASTM INTERNATIONAL C1701 OR C1781 STANDARDS, AS APPROPRIATE. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.

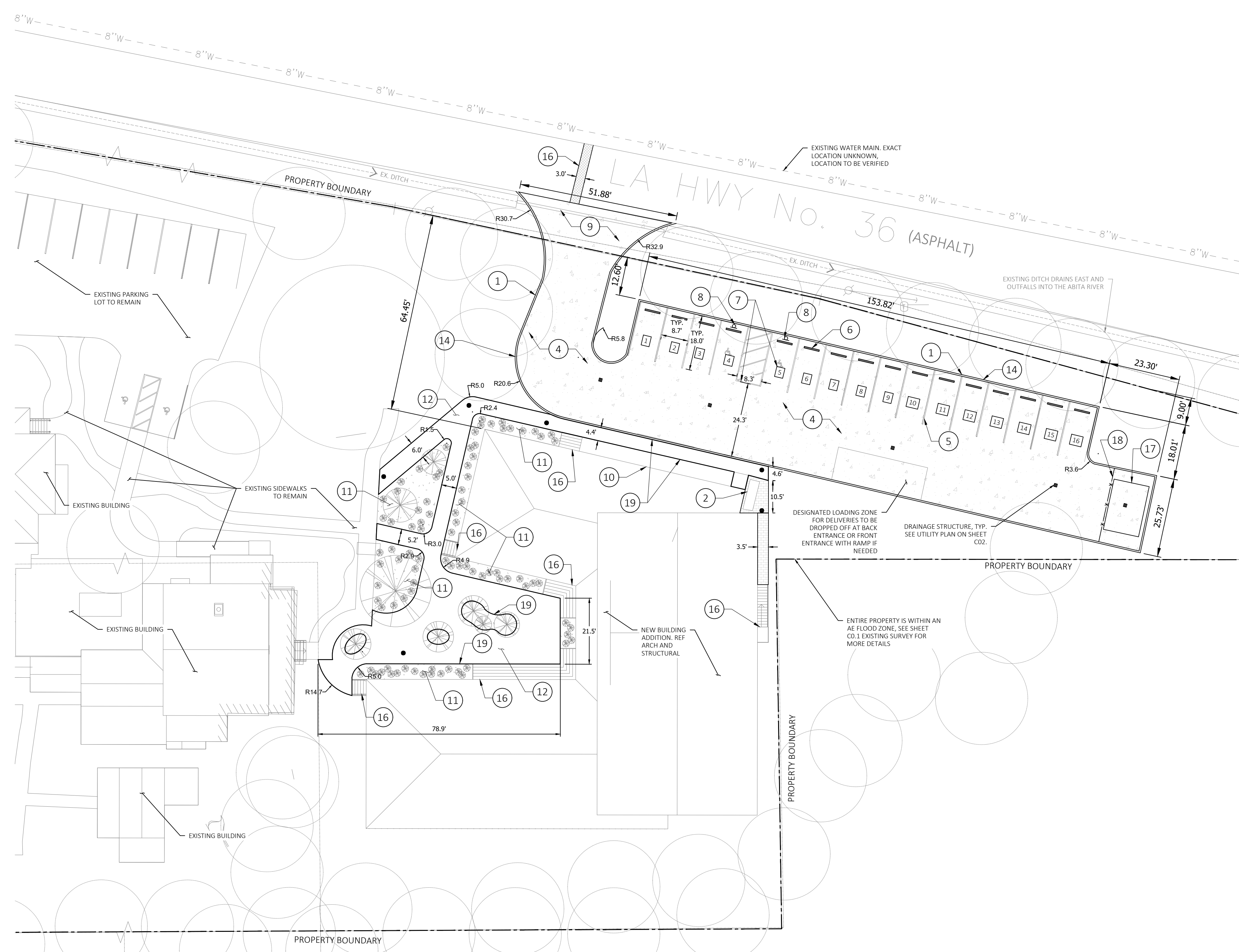
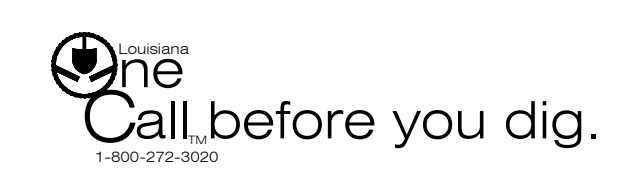
**SURVEY BY OTHERS**

- Site elements and property boundary per survey titled "Topographic Survey of a LOTS 1-5 \*SQUARE 7\* NORTHWEST DIVISION OF THE TOWN OF ABITA SPRINGS & A PORTION OF GROUND SITUATED IN SECTION 36, T-6-S, R-11-E ST. TAMMANY PARISH, LOUISIANA FOR LONGBRANCH RECOVERY" by Randall W. Brown & Associates, Inc., dated December 21, 2023. See sheet C0.1 for existing survey and details.

<b>PARKING NOTES</b>			
PARKING REQUIREMENTS PER ABITA SPRINGS MASTER PLAN TABLE 2-2:			
USE	PARKING REQUIREMENT	PROPOSED	PARKING SPACES REQUIRED
LODGING	1 SPACE PER GUEST ROOM	12 GUEST ROOMS	
OFFICE	2 SPACES PER 1,000 SF	950 SF OFFICE	1 PARKING SPACE
<b>TOTAL REQUIRED</b>		<b>13 PARKING SPACES</b>	
ADA PARKING REQUIREMENT PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN:			
<b>TOTAL # PARKING SPACES PROVIDED IN A PARKING LOT</b>		<b>MIN #</b>	
<b>ACCESSIBLE PARKING SPACES</b>		<b>1 PARKING SPACE</b>	
1 TO 25			

NOTE: TWO ACCESSIBLE PARKING SPACES MAY SHARE AN ACCESS AISLE WITH THE ACCESS AISLE BETWEEN THE TWO SPACES (WITH THE EXCEPTION OF ANGLED PARKING).

NOTE: CROSS SLOPES SHALL BE 1.5% MAX



C1.0 **SITE PLAN**

REV. NO.	DATE	DESCRIPTION

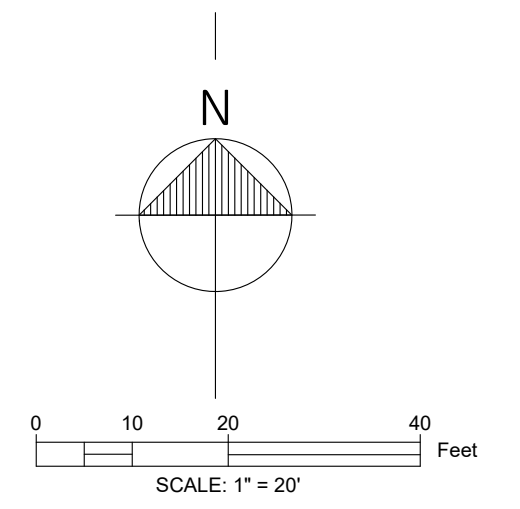
**LONGBRANCH ABITA**  
21516 LA-36, ABITA SPRINGS, LA 70420

DRAWN BY: CAP  
CHECKED BY: JMS  
DATE: MARCH 28, 2024  
ISSUE: PLANNING + ZONING  
DRAWING SIZE: 24"x36"

**PRELIMINARY**  
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT

SITE PLAN

SHEET:  
**C1.0**



GRADING PLAN LEGEND		
	EXISTING ELEVATION	TOC = TOP OF CASTING INV = INVERT (DIRECTION) TC = TOP OF CURB G = GUTTER FLOW LINE
	NEW SPOT ELEVATION	
	GRADE ARROW AND SLOPE	
	GRADE CHANGE LINE	

UTILITY PLAN LEGEND		
	REQ'D WATER LINE	
	REQ'D SEWER LINE	
	REQ'D DRAIN LINE	
	REQ'D PERFORATED DRAIN LINE	
	REQ'D ELEVATION	
	EXISTING ELEVATION	

- |   |   |    |   |
|---|---|----|---|
| 1 | 8" DRAIN LINE WITH HEADWALL TO DISCHARGE INTO EXISTING DRAINAGE DITCH   | 6  | NEW GRADED SWALE  |
| 2 | CONTRACTOR TO FIELD VERIFY LOCATION OF UTILITY LINE AND NOTIFY ENGINEER IF CONFLICT EXISTS.                                       | 7  | 4" SEWER SERVICE PER ABITA SPRINGS STANDARDS. SEE MEP FOR CONTINUATION INSIDE OF BUILDING |
| 3 | 12" INLET STRUCTURE   | 8  | DUMPSTER PAD INLET  |
| 4 | REQUIRED DRAIN OR SEWER CLEANOUT  | 9  | SANITARY SEWER GRINDER PUMP/LIFT STATION  |
| 5 | 2.5" DOMESTIC WATER SERVICE LINE PER ABITA SPRINGS STANDARDS. SEE MEP FOR BACKFLOW PREVENTER AND CONTINUATION INSIDE OF BUILDING. | 10 | 2" PRESSURIZED HDPE SEWER LINE TO GORDON STREET SEWER LINE                                |

**UTILITY NOTES:**

- UTILITY EXCAVATIONS SHALL CONFORM TO THE CURRENT OSHA EXCAVATION AND TRENCH SAFETY STANDARDS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST ABITA SPRINGS UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY FOR DIRECTIONS.
- CONTRACTOR SHALL COORDINATE ANY INTERRUPTION OF UTILITY SERVICE WITH OWNER AND UTILITY COMPANY. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION, AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY UTILITY DEPARTMENT FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
- ANY PLANNED INTERRUPTION OF UTILITY SERVICE SHALL BE GIVEN A 48 HOUR NOTICE TO THE UTILITY COMPANY AND THE OWNER.
- THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN PLOTTED BASED UPON DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR OBTAINED FROM RECORDS MADE AVAILABLE TO USE BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF UTILITIES ARE SHOWN. THE ACTUAL NON-VISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATIONS PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON. PRIOR TO EXCAVATION AND DIGGING CALL LOUISIANA ONE CALL (#811).
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES.
- CONTRACTOR MUST FIELD VERIFY ALL EXISTING DRAINAGE & SEWER INVERTS. NOTIFY ENGINEER OF ANY PROBLEMS BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO COORDINATE SEWER AND WATER CONNECTIONS WITH ABITA SPRINGS WATER DEPARTMENT.

**GRADING PLAN NOTES:**

- SEE SITE PLAN AND ARCH. PLAN DRAWINGS FOR GEOMETRY ASSOCIATED WITH NEW CONSTRUCTION.
- CONTRACTOR SHALL LAY OUT THE WORK AND VERIFY ALL DIMENSIONS AND GRADES INDICATED ON THE DRAWINGS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
- IN ORDER TO ENCOURAGE INFILTRATION OF STORMWATER AND TO MINIMIZE THE MIGRATION OF SEDIMENT(S), THE FINISHED GRADE FOR ALL LANDSCAPE AND/OR PLANTED AREAS SHALL BE SET A MINIMUM OF 3" BELOW SURROUNDING HARDSCAPE CONTAINMENTS (CURBING, SIDEWALKS, FOUNDATIONS, ETC.). THIS STANDARD MAY BE WAIVED IF NECESSARY TO PROMOTE THE PRESERVATION OF EXISTING TREES SHOWN AS SUCH.
- GRADES SHOWN ARE IN NAVD 88 DATUM. REFERENCE SURVEY / EXISTING CONDITIONS SHEET FOR VERTICAL CONTROL POINTS.

Calcs Runoff results					
Hydrologic Element	Drainage Area (Ac)	10-yr	25-yr	50-yr	100-yr
		Peak Discharge (cfs)	Peak Discharge (cfs)	Peak Discharge (cfs)	Peak Discharge (cfs)
Pre-Dev 1	0.88	2.88	3.27	3.58	3.89
Post-Dev 1	0.24	0.70	0.80	0.88	0.96
Post-Dev 2	0.14	0.42	0.48	0.53	0.58
Post-Dev 3	0.22	0.51	0.59	0.66	0.72
Post-Dev 4	0.27	1.20	1.36	1.49	1.62
<b>RECUTION IN FLOW</b>		<b>0.05</b>	<b>0.03</b>	<b>0.02</b>	<b>0.01</b>

**LONGBRANCH ABITA**  
 21516 LA-36, ABITA SPRINGS, LA 70420

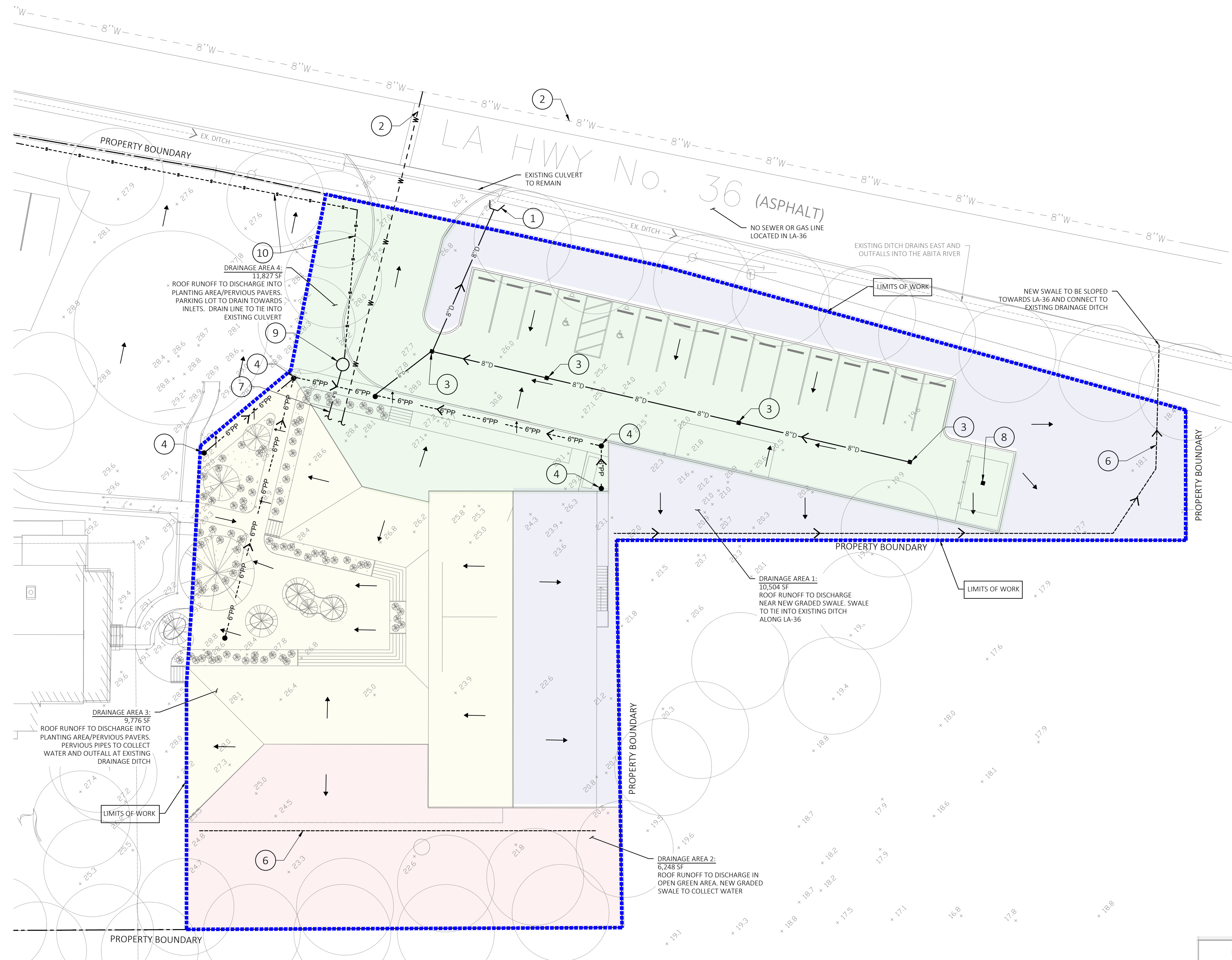
DRAWN BY: CAP  
 CHECKED BY: JMS  
 DATE: MARCH 28, 2024  
 ISSUE: PLANNING + ZONING  
 DRAWING SIZE: 24"x36"

**PRELIMINARY**  
 THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT

ILLUSTRATIVE  
 DRAINAGE  
 PLAN

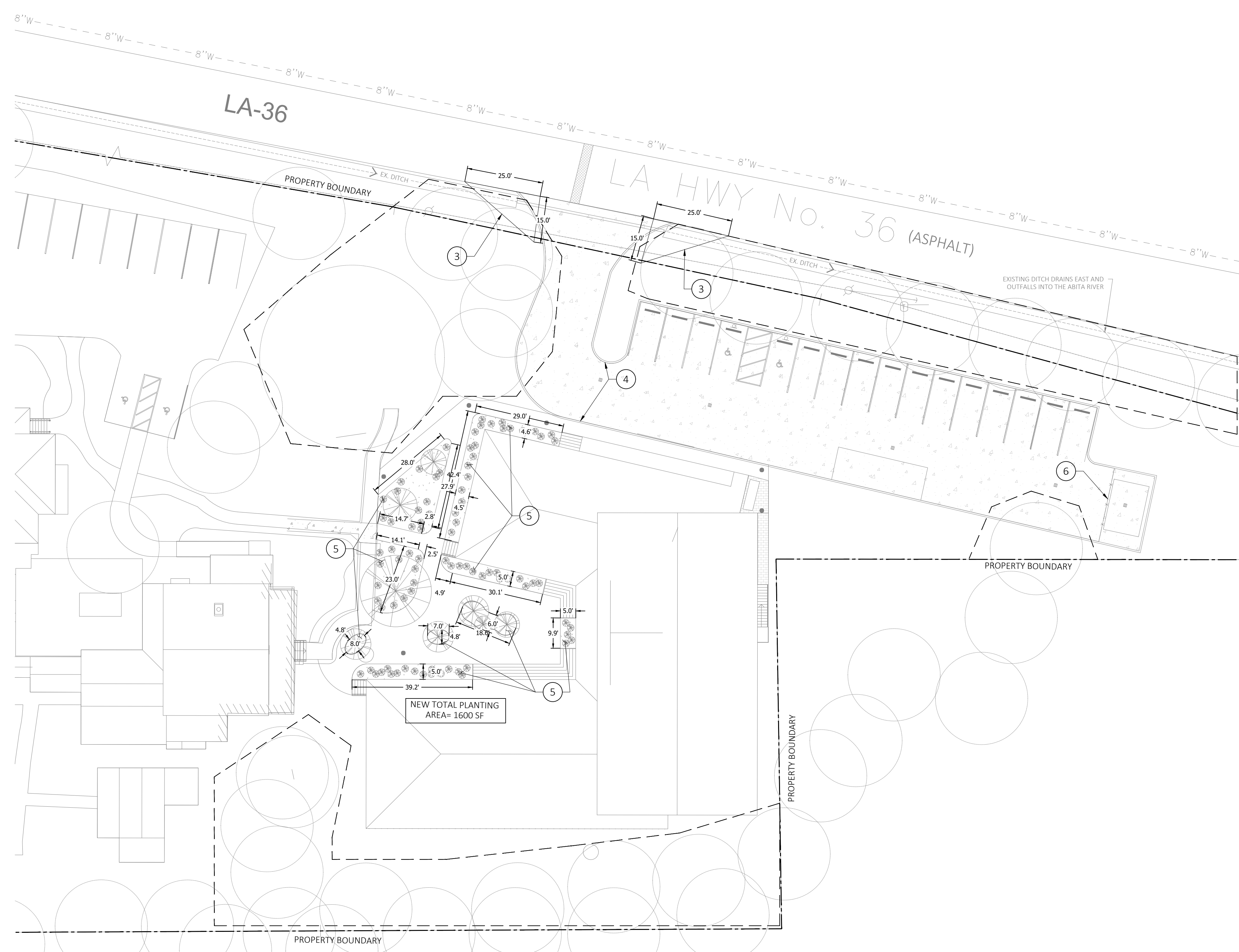
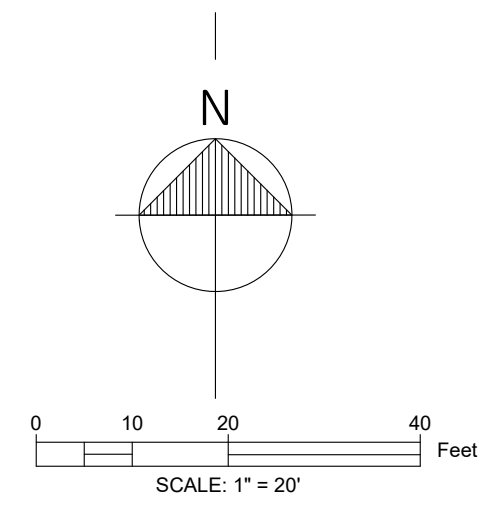
SHEET:

**C2.0**



**C2.0 UTILITY AND DRAINAGE PLAN**





LANDSCAPE PLAN LEGEND	
	TREE PROTECTION ZONE
1	6" BARRIER CURB AND GUTTER (SEE DETAIL 4, SHT C03)
2	EXISTING TREE TO ACT AS BUFFER AREAS
3	SITE TRIANGLES PER ABITA SPRINGS MUNICIPAL CODE. CLEAR ANY OBSTRUCTIONS WITHIN THE SITEV TRIANGLES AT THE HEIGHT OF 3-7' ABOVE THE CENTERLINE GRADE OF THE STREET.
4	6" BARRIER CURB, REF SITE PLAN ON C1.0
5	NEW PLANTING AREAS. REF ARCH FOR TREE AND PLANTING SPECIES
6	NEW 8' WOOD FENCE TO ENCLOSE DUMPSTER AREA

REV. NO.	DATE	DESCRIPTION

**LONGBRANCH ABITA**  
21516 LA-36, ABITA SPRINGS, LA 70420

DRAWN BY: CAP  
CHECKED BY: JMS  
DATE: MARCH 28, 2024  
ISSUE: PLANNING + ZONING  
DRAWING SIZE: 24"x36"

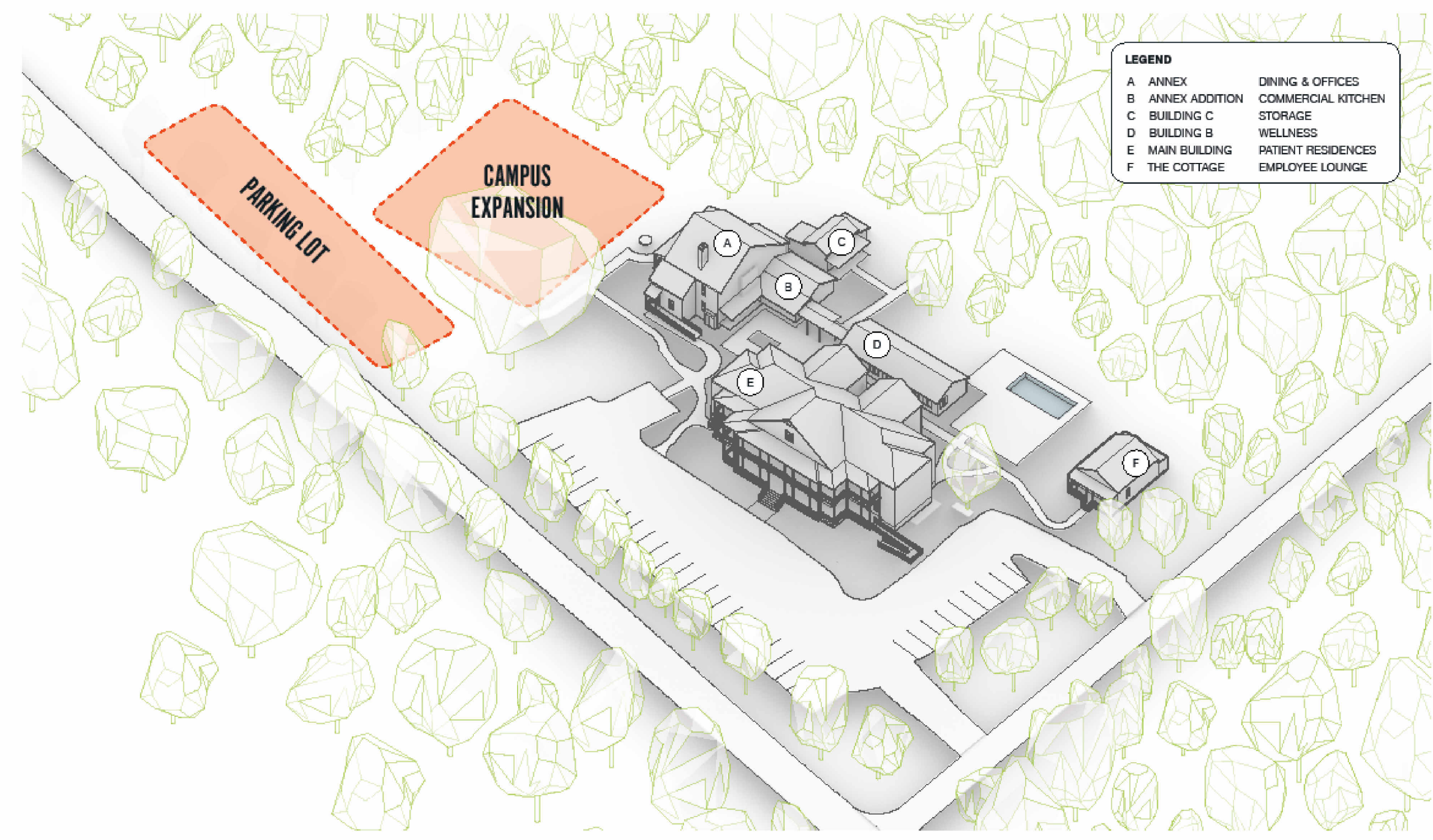
**PRELIMINARY**  
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT

LANDSCAPE PLAN

SHEET:  
**C3.0**

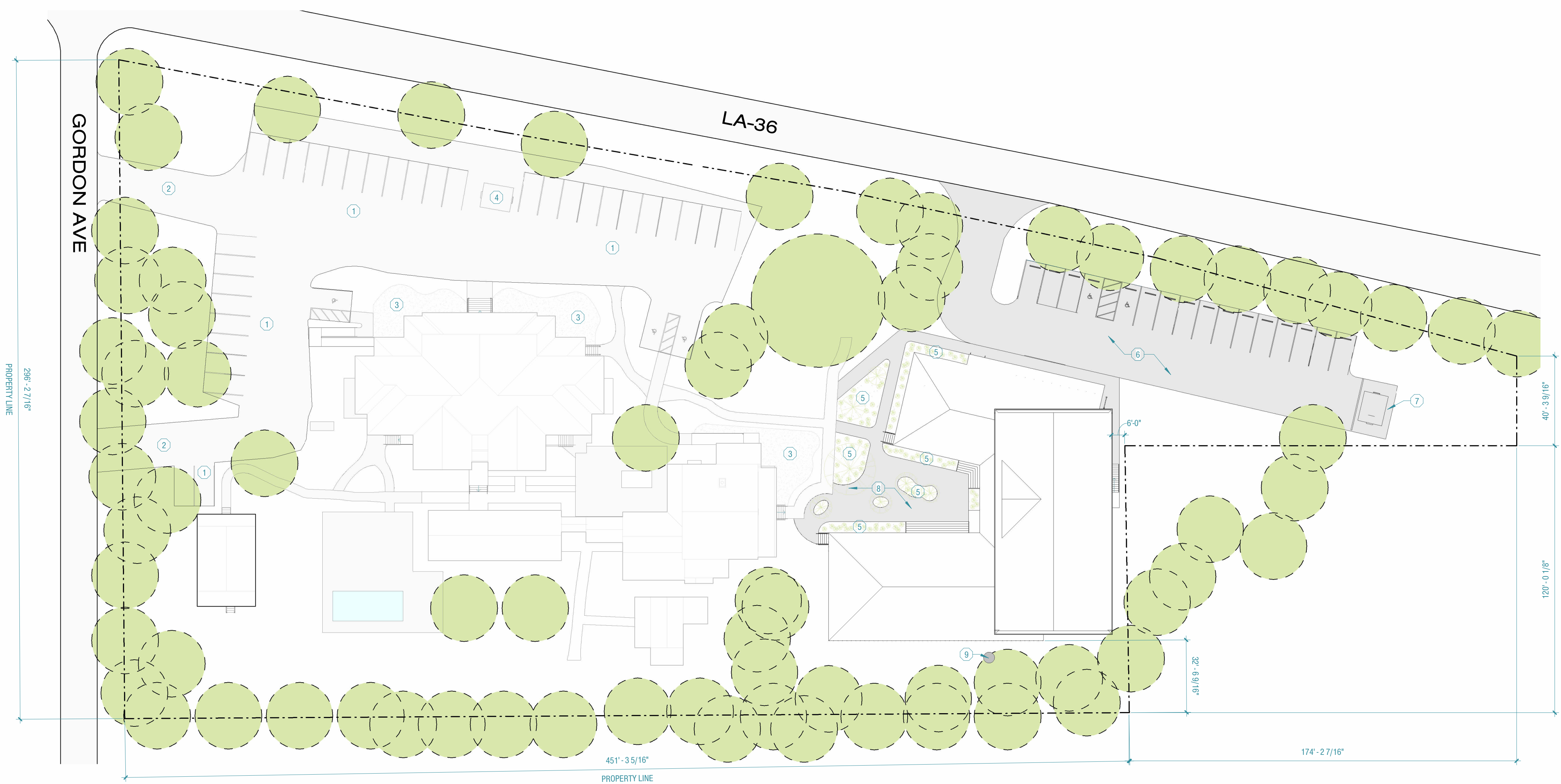
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

A  
B  
C  
D



D2 // DIAGRAMMATIC SITE AXON  
DRAWING NOT TO SCALE

E  
F  
G  
H  
J  
K  
L



**SITE PLAN LEGEND**

PROPERTY LINE	→	---
EXISTING TREES	→	■
EXISTING VEHICULAR AND PEDESTRIAN CIRCULATION	→	□
NEW VEHICULAR AND PEDESTRIAN CIRCULATION	→	■
POOL OR WATER FEATURE	→	■

**SITE PLAN KEYNOTES**

1	EXISTING PARKING AREA
2	EXISTING PARKING ACCESS DRIVE
3	EXISTING PLANTING BED
4	EXISTING TRASH STORAGE
5	NEW PLANTING BED
6	NEW PAVED PARKING LOT
7	NEW DUMPSTER PAD AND FENCED ENCLOSURE
8	NEW PERMEABLE PAVERS
9	UNKNOWN CONCRETE STRUCTURE

L2 // SITE PLAN  
1" = 30'-0"

CICADA

LONGBRANCH ABITA

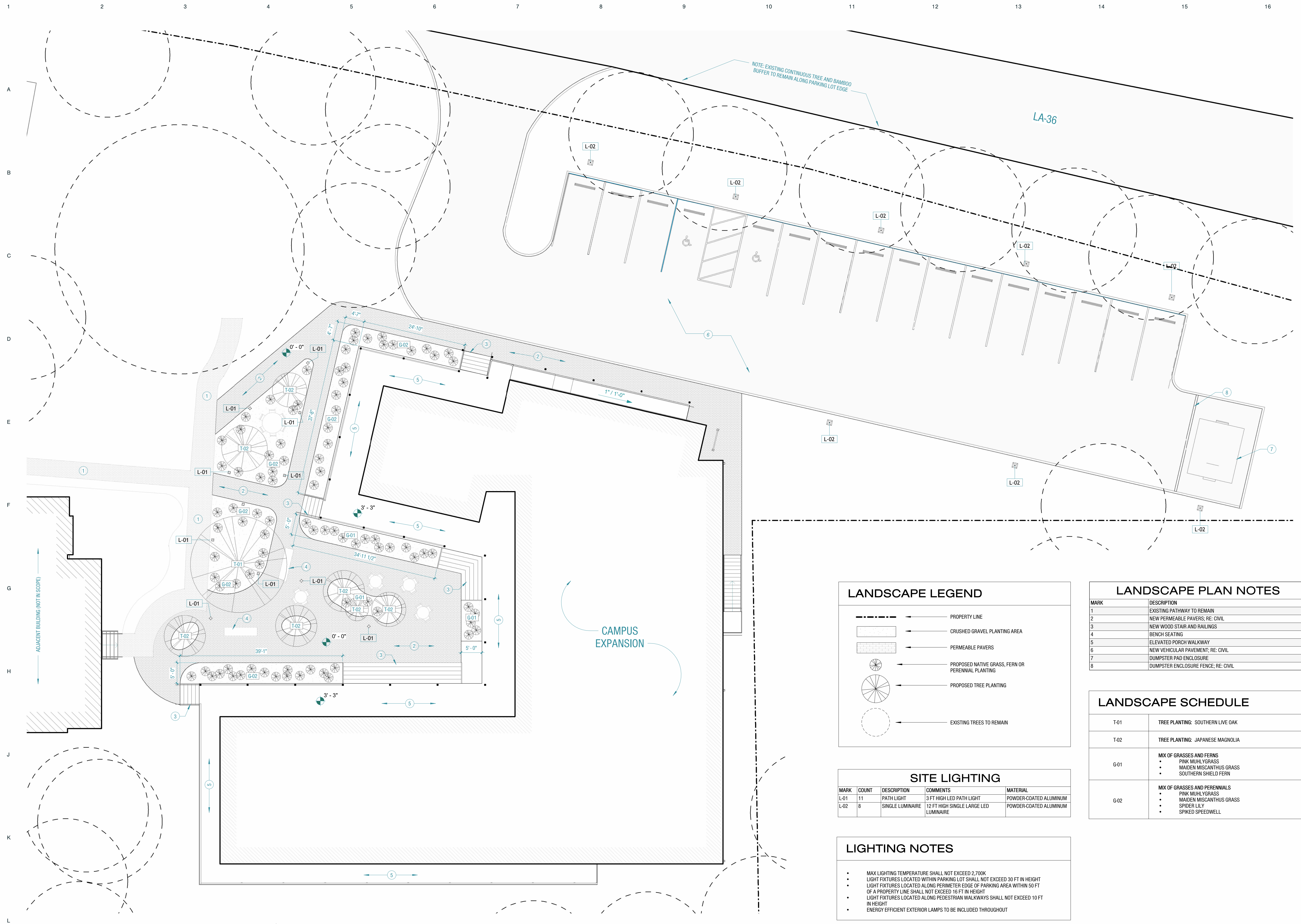
EMILY MEYERS  
21516 LA-36, Abita Springs, LA 70420

PROJECT NO: 123027  
PHASE: PLANNING + ZONING  
ISSUED FOR:  
DATE: 03/28/2024

PROPOSED SITE PLAN

A0.01





### LANDSCAPE LEGEND

	PROPERTY LINE
	CRUSHED GRAVEL PLANTING AREA
	PERMEABLE PAVERS
	PROPOSED NATIVE GRASS, FERN OR PERENNIAL PLANTING
	PROPOSED TREE PLANTING
	EXISTING TREES TO REMAIN

### LANDSCAPE PLAN NOTES

MARK	DESCRIPTION
1	EXISTING PATHWAY TO REMAIN
2	NEW PERMEABLE PAVERS; RE: CIVIL
3	NEW WOOD STAIR AND RAILINGS
4	BENCH SEATING
5	ELEVATED PORCH WALKWAY
6	NEW VEHICULAR PAVEMENT; RE: CIVIL
7	DUMPSTER PAD ENCLOSURE
8	DUMPSTER ENCLOSURE FENCE; RE: CIVIL

### SITE LIGHTING

MARK	COUNT	DESCRIPTION	COMMENTS	MATERIAL
L-01	11	PATH LIGHT	3 FT HIGH LED PATH LIGHT	POWDER-COATED ALUMINUM
L-02	8	SINGLE LUMINAIRE	12 FT HIGH SINGLE LARGE LED LUMINAIRE	POWDER-COATED ALUMINUM

### LANDSCAPE SCHEDULE

T-01	TREE PLANTING: SOUTHERN LIVE OAK
T-02	TREE PLANTING: JAPANESE MAGNOLIA
G-01	MIX OF GRASSES AND FERNS <ul style="list-style-type: none"> <li>PINK MUHLYGRASS</li> <li>MAIDEN MISCANTHUS GRASS</li> <li>SOUTHERN SHIELD FERN</li> </ul>
G-02	MIX OF GRASSES AND PERENNIALS <ul style="list-style-type: none"> <li>PINK MUHLYGRASS</li> <li>MAIDEN MISCANTHUS GRASS</li> <li>SPIDER LILY</li> <li>SPIKED SPEEDWELL</li> </ul>

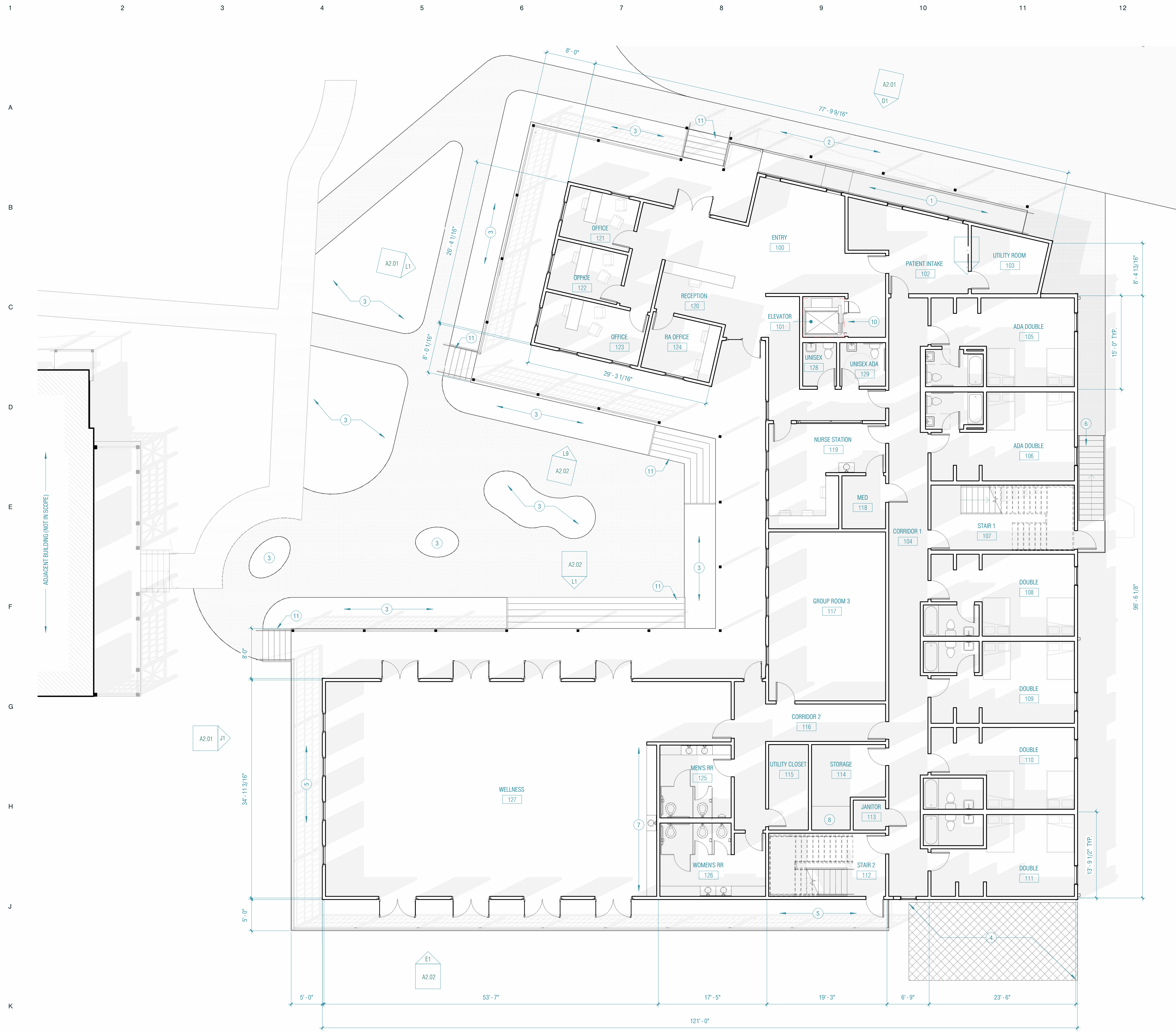
### LIGHTING NOTES

- MAX LIGHTING TEMPERATURE SHALL NOT EXCEED 2,700K
- LIGHT FIXTURES LOCATED WITHIN PARKING LOT SHALL NOT EXCEED 30 FT IN HEIGHT
- LIGHT FIXTURES LOCATED ALONG PERIMETER EDGE OF PARKING AREA WITHIN 50 FT OF A PROPERTY LINE SHALL NOT EXCEED 16 FT IN HEIGHT
- LIGHT FIXTURES LOCATED ALONG PEDESTRIAN WALKWAYS SHALL NOT EXCEED 10 FT IN HEIGHT
- ENERGY EFFICIENT EXTERIOR LAMPS TO BE INCLUDED THROUGHOUT

L1 // LANDSCAPE & LIGHTING PLAN  
1" = 10'-0"

PROJECT NO: 123027  
 PHASE: PLANNING + ZONING  
 ISSUED FOR:  
 DATE: 03/28/2024

LANDSCAPE & LIGHTING PLAN



LEVEL 1 ROOM SCHEDULE			
NUMBER	NAME	NET AREA	COMMENTS
100	ENTRY	772 SF	
101	ELEVATOR	44 SF	
102	PATIENT INTAKE	210 SF	
103	UTILITY ROOM	111 SF	
104	CORRIDOR 1	553 SF	
105	ADA DOUBLE	324 SF	
106	ADA DOUBLE	326 SF	
107	STAIR 1	240 SF	
108	DOUBLE	302 SF	
109	DOUBLE	302 SF	
110	DOUBLE	301 SF	
111	DOUBLE	301 SF	
112	STAIR 2	190 SF	
113	JANITOR	25 SF	
114	STORAGE	132 SF	
115	UTILITY CLOSET	88 SF	
116	CORRIDOR 2	235 SF	
117	GROUP ROOM 3	508 SF	
118	MED	60 SF	
119	NURSE STATION	247 SF	
120	RECEPTION	79 SF	
121	OFFICE	96 SF	
122	OFFICE	95 SF	
123	OFFICE	142 SF	
124	RA OFFICE	103 SF	
125	MEN'S RR	133 SF	
126	WOMEN'S RR	188 SF	
127	WELLNESS	1942 SF	
128	UNISEX	38 SF	
129	UNISEX ADA	51 SF	
Total:		8137 SF	

PLAN NOTES	
Note Number	Note Text
1	ADA RAMP
2	NEW CONCRETE SIDEWALK
3	PLANTER BED
4	MECHANICAL PLATFORM
5	EGRESS BALCONY
6	EGRESS STAIR TO GRADE, WALKWAY AT GRADE TO LEAD TO PARKING AREA
7	BUILT IN STORAGE / SINK
8	(2) WASHER / DRYER
9	STANDING SEAM METAL ROOF
10	ADDITIONAL DOOR TO BE PROVIDED AT HOISTWAY OPENING AND MEET THE SMOKE AND DRAFT CONTROL DOOR ASSEMBLY REQUIREMENTS IN IBC 2021, SECTION 716.2.2.1.1 WHEN TESTED IN ACCORDANCE WITH UL 1784 WITHOUT AN ARTIFICIAL BOTTOM SEAL
11	WOOD STAIR, TYP.

L1 // LEVEL 1 CONCEPTUAL PLAN  
1/8" = 1'-0"

PROJECT NO: 123027  
PHASE: PLANNING + ZONING  
ISSUED FOR:  
DATE: 03/28/2024

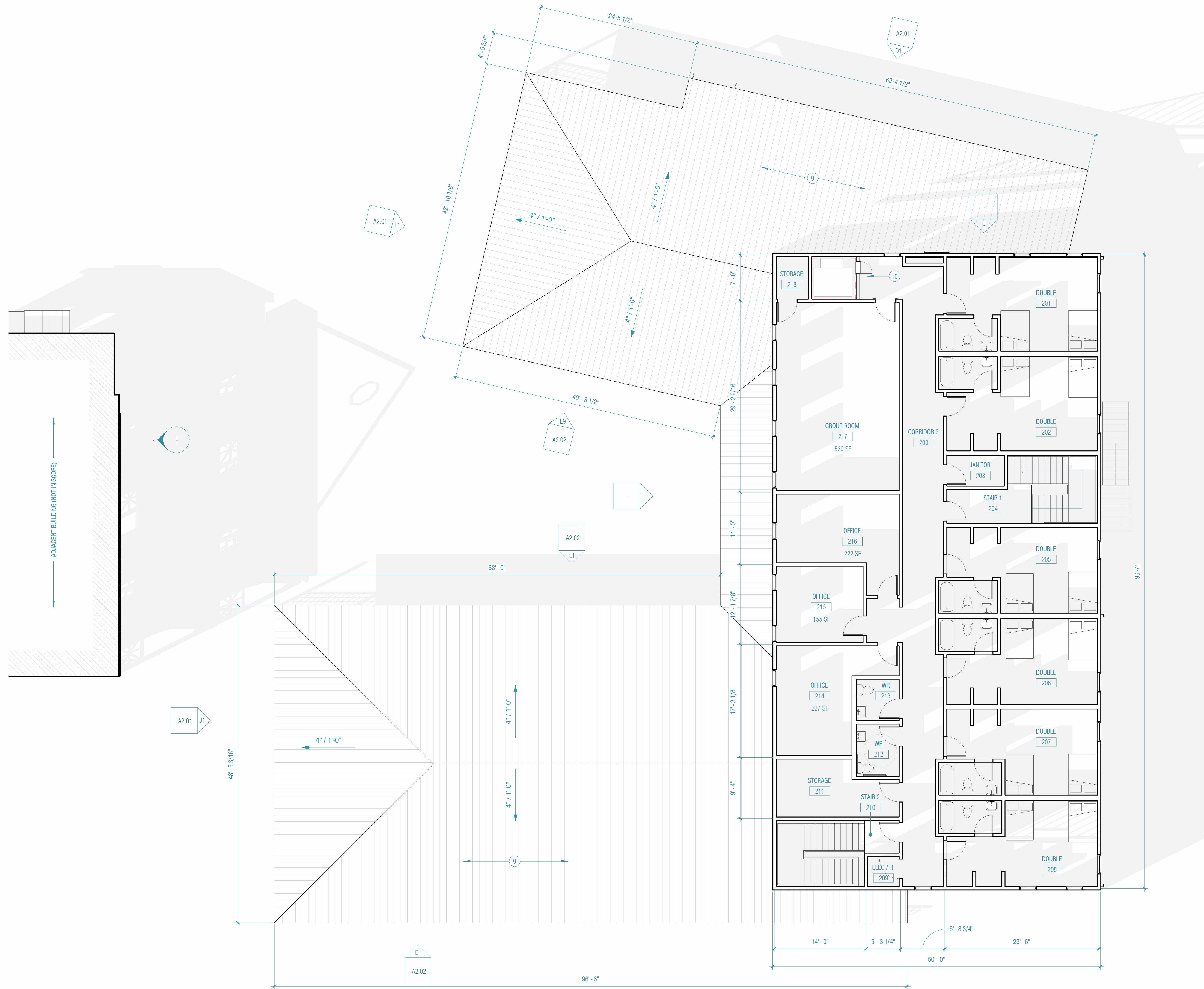
FIRST FLOOR CONCEPT PLAN

A1.01

CICADA

LONGBRANCH ABITA

EMILY MEYERS  
21516 LA-36, Abita Springs, LA 70420



LEVEL 2 ROOM SCHEDULE			
NUMBER	NAME	NET AREA	COMMENTS
200	CORRIDOR 2	672 SF	
201	DOUBLE	331 SF	
202	DOUBLE	330 SF	
203	JANITOR	42 SF	
204	STAIR 1	190 SF	
205	DOUBLE	300 SF	
206	DOUBLE	302 SF	
207	DOUBLE	301 SF	
208	DOUBLE	301 SF	
209	ELEC/IT	22 SF	
210	STAIR 2	163 SF	
211	STORAGE	143 SF	
212	WR	52 SF	
213	WR	41 SF	
214	OFFICE	227 SF	
215	OFFICE	155 SF	
216	OFFICE	222 SF	
217	GROUP ROOM	539 SF	
218	STORAGE	33 SF	
Total:		4365 SF	

PLAN NOTES	
Note Number	Note Text
1	ADA RAMP
2	NEW CONCRETE SIDEWALK
3	PLANTER BED
4	MECHANICAL PLATFORM
5	EGRESS BALCONY
6	EGRESS STAIR TO GRADE, WALKWAY AT GRADE TO LEAD TO PARKING AREA
7	BUILT IN STORAGE / SINK
8	(2) WASHER / DRYER
9	STANDING SEAM METAL ROOF
10	ADDITIONAL DOOR TO BE PROVIDED AT HOISTWAY OPENING AND MEET THE SMOKE AND DRAFT CONTROL DOOR ASSEMBLY REQUIREMENTS IN IBC 2021, SECTION 716.2.2.1.1 WHEN TESTED IN ACCORDANCE WITH UL 1784 WITHOUT AN ARTIFICIAL BOTTOM SEAL.
11	WOOD STAIR, TYP.

CICADA

LONGBRANCH ABITA

EMILY MEYERS  
21516 LA-36, Abita Springs, LA 70420

PROJECT NO:	123027
PHASE:	PLANNING + ZONING
ISSUED FOR:	
DATE:	03/28/2024

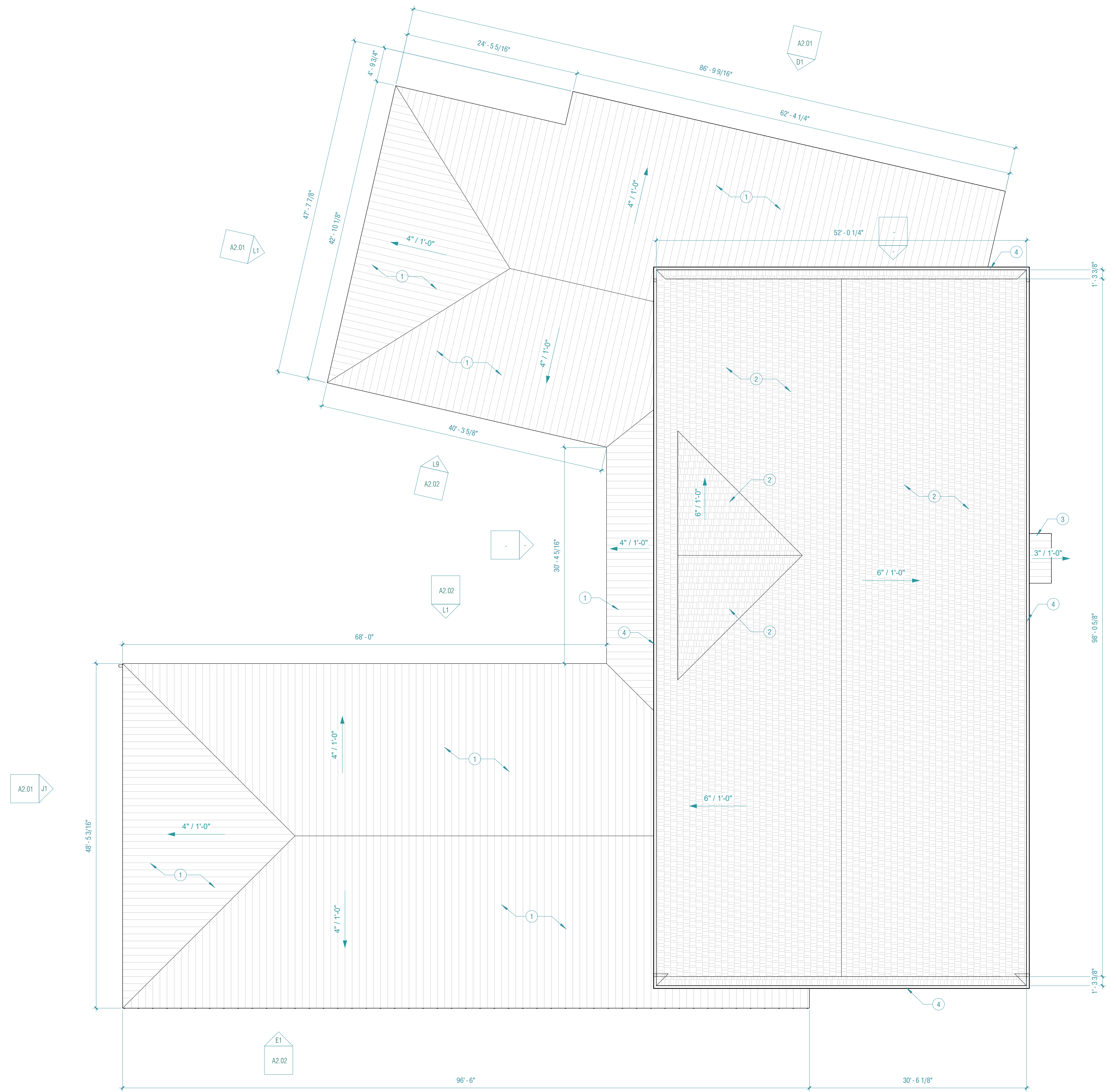
SECOND FLOOR CONCEPT PLAN

L1 // LEVEL 2 CONCEPTUAL PLAN  
1/8" = 1'-0"

A1.02

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

A  
B  
C  
D  
E  
F  
G  
H  
J  
K  
L



K1 // ROOF PLAN  
1/8" = 1'-0" 

# CICADA

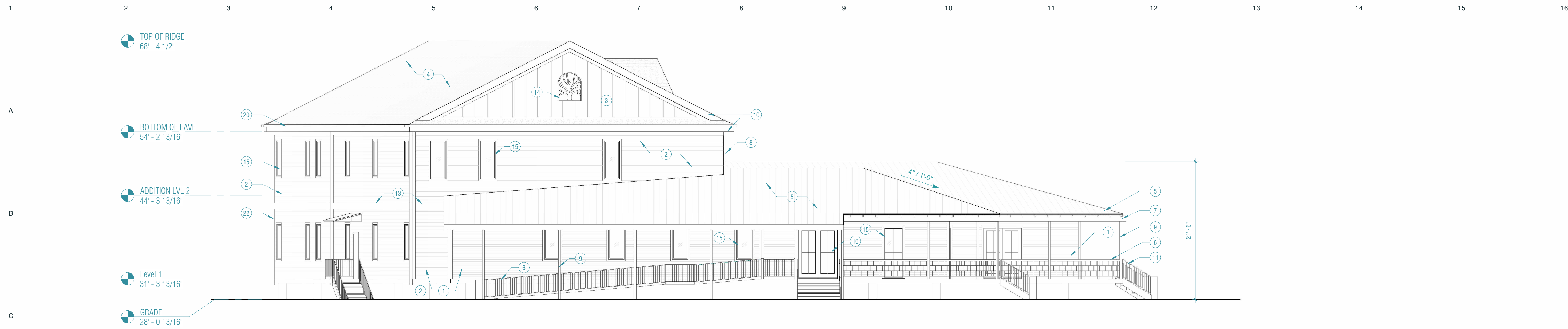
LONGBRANCH ABITA

EMILY MEYERS  
21516 LA-36, Abita Springs, LA 70420

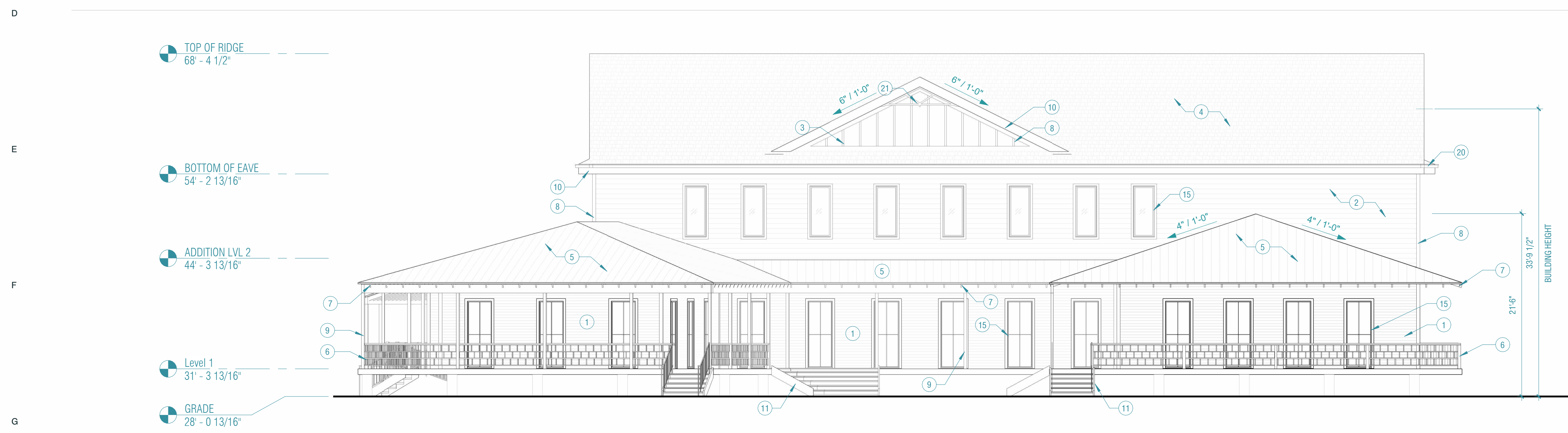
PROJECT NO:	123027
PHASE:	PLANNING + ZONING
ISSUED FOR:	
DATE:	03/28/2024

ROOF PLAN

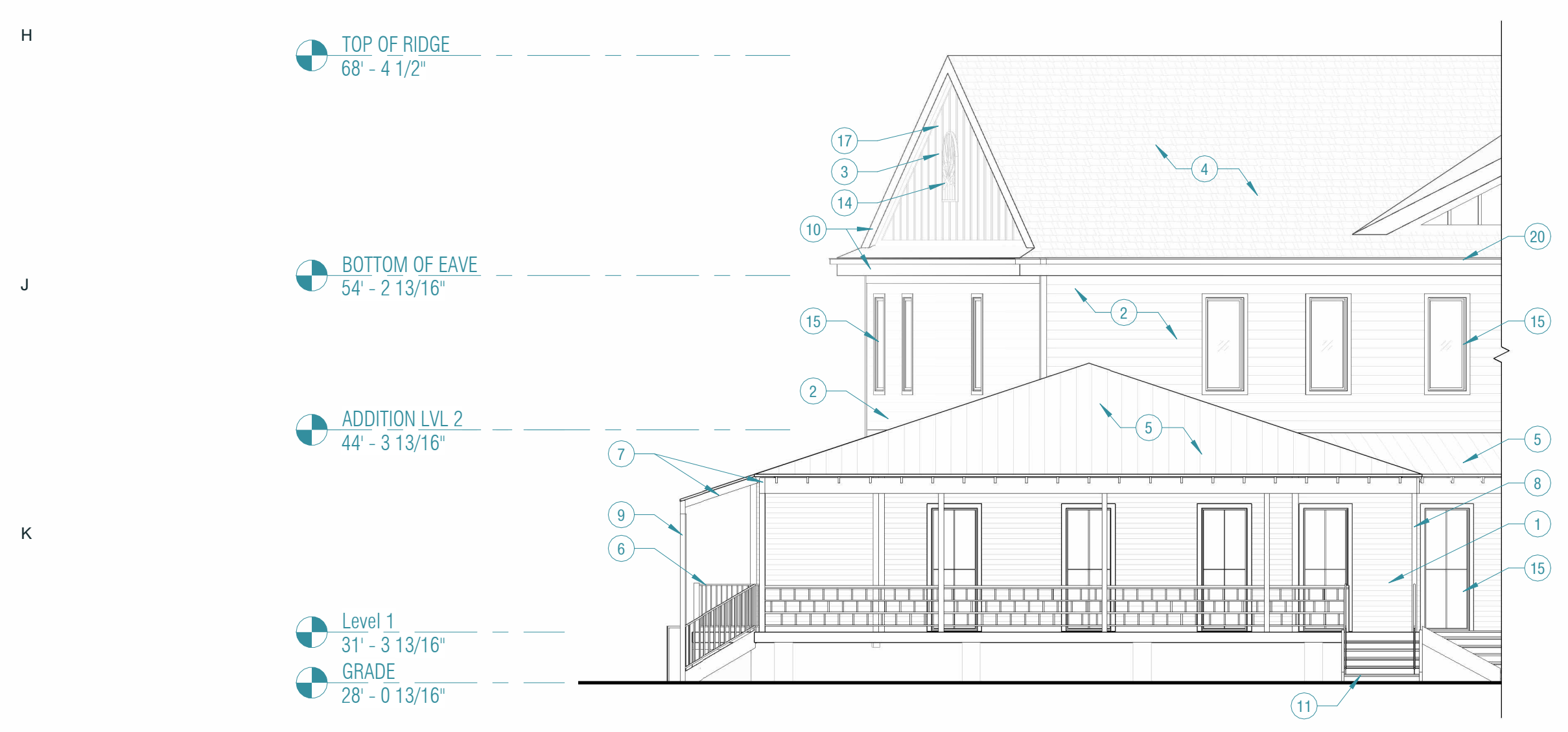
## A1.03



**D1 // BUILDING ELEVATION NORTH**  
1/8" = 1'-0"



**J1 // BUILDING ELEVATION WEST**  
1/8" = 1'-0"



**L1 // BUILDING ELEVATION WEST 2**  
1/8" = 1'-0"

ELEVATION NOTES	
MARK	DESCRIPTION
1	FIBER CEMENT SIDING W/4" EXPOSURE
2	FIBER CEMENT SIDING W/7" EXPOSURE
3	BOARD AND BATTEN FIBER CEMENT SIDING
4	ASPHALT SHINGLE ROOF
5	STANDING SEAM METAL ROOF
6	WOOD RAILING
7	EXPOSED WOOD STRUCTURAL MEMBERS
8	PTD. FIBER CEMENT TRIM, TYP.
9	WOOD COLUMN, TYP.
10	PTD. FASCIA BOARD
11	WOOD STAIR, TYP.
13	FIBER CEMENT FRIEZE BOARD, PTD.
14	PTD. WOOD SIGN
15	WINDOW, TYP.
16	DOOR, TYP.
17	PTD. SOFFIT
18	PTD. METAL STAIR, LANDING AND HANDRAILS
19	MEATL AWNING
20	SQUARE METAL GUTTER
21	PTD. WOOD BRACKET
22	SQUARE METAL DOWNSPOUT, TYP.

**LONGBRANCH ABITA**

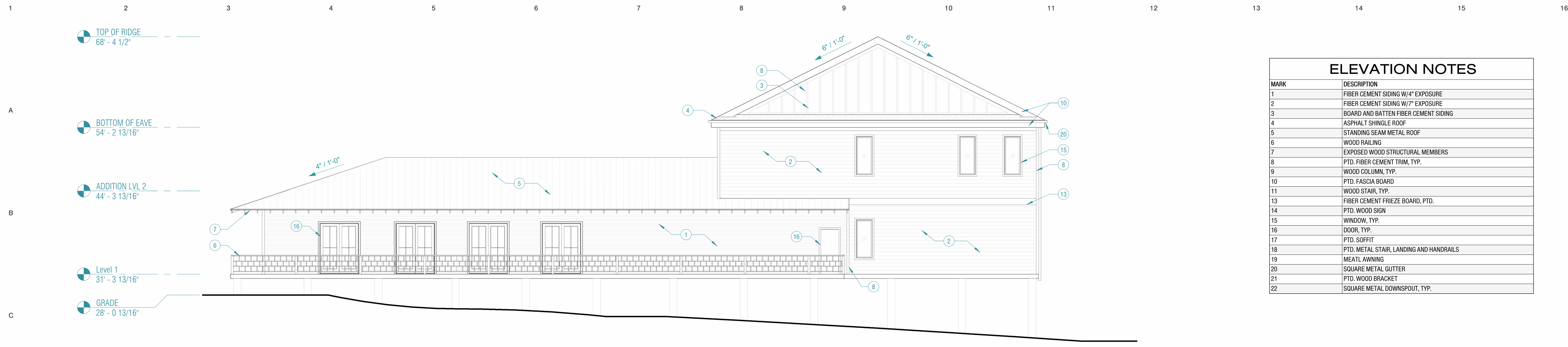
**EMILY MEYERS**  
21516 LA-36, Abita Springs, LA 70420

PROJECT NO: 123027  
PHASE: PLANNING + ZONING  
ISSUED FOR:  
DATE: 03/28/2024

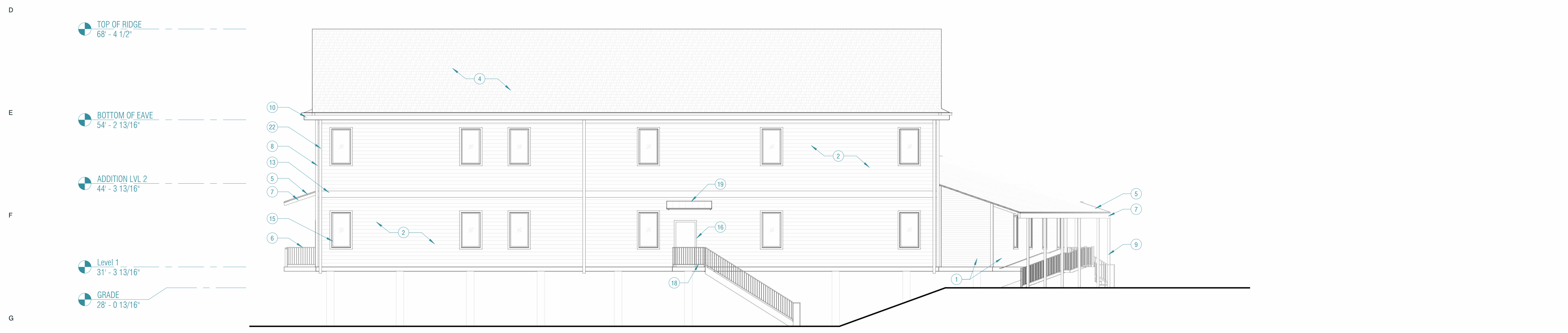
BUILDING ELEVATIONS

**A2.01**

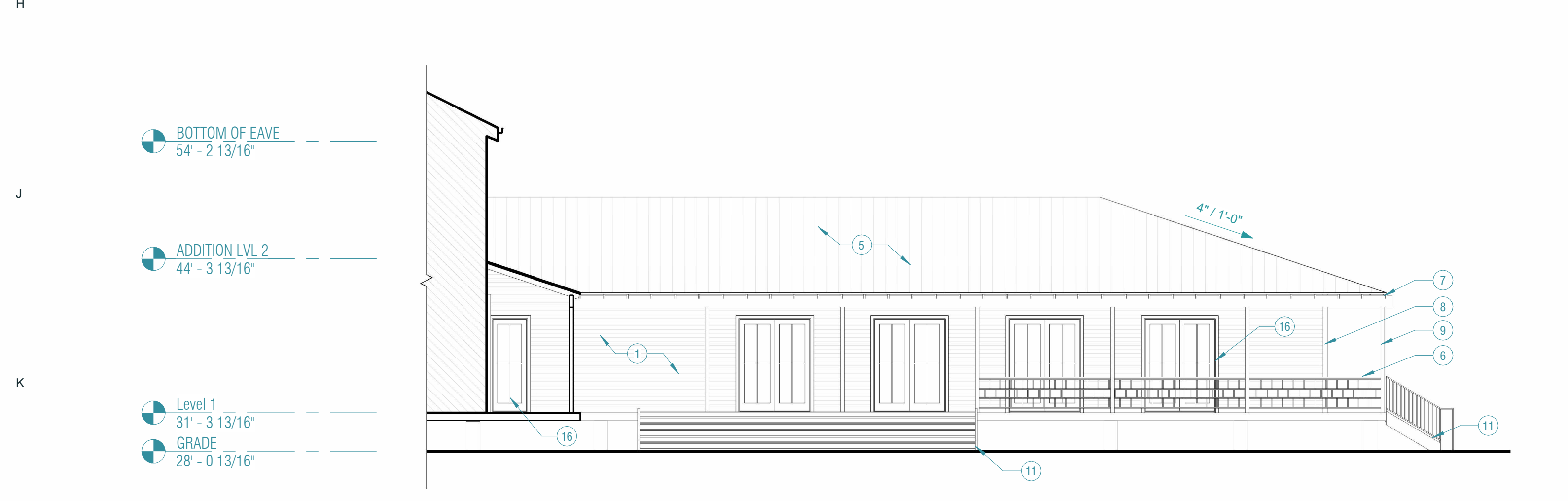
**CICADA**



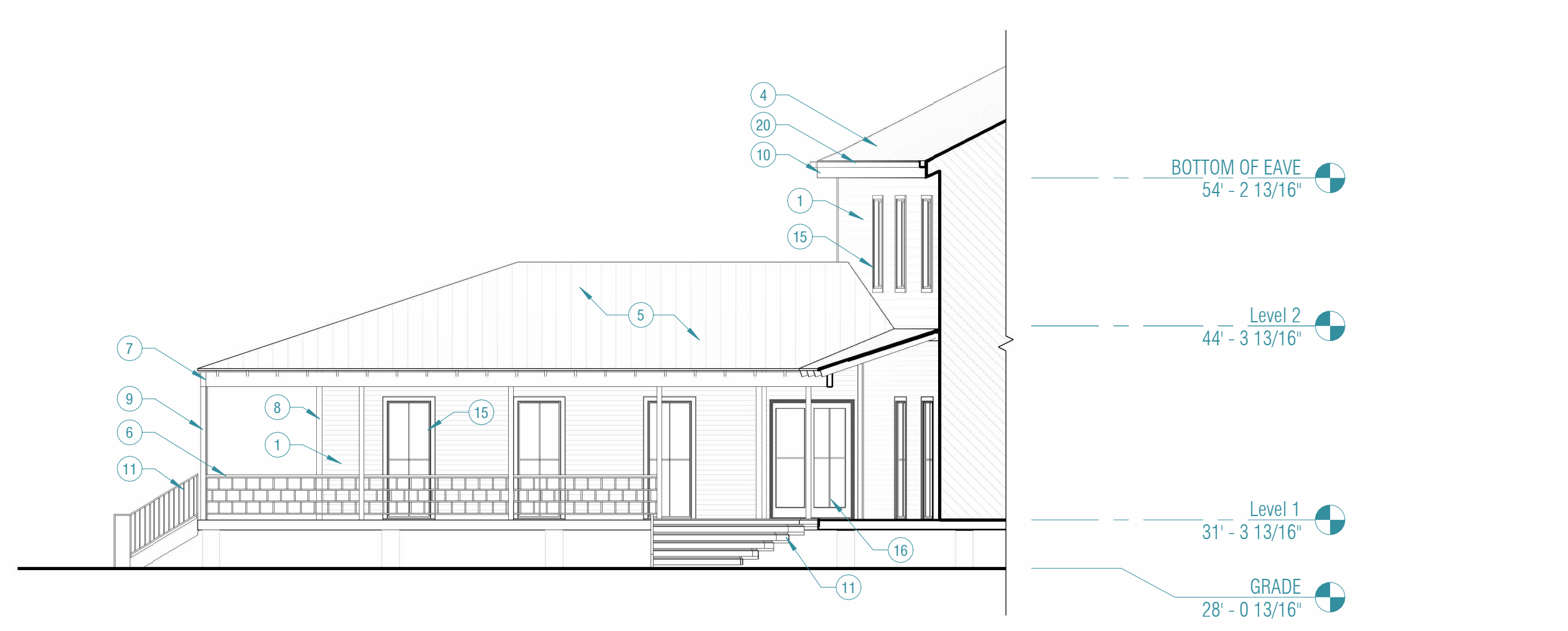
E1 // BUILDING ELEVATION SOUTH  
1/8" = 1'-0"



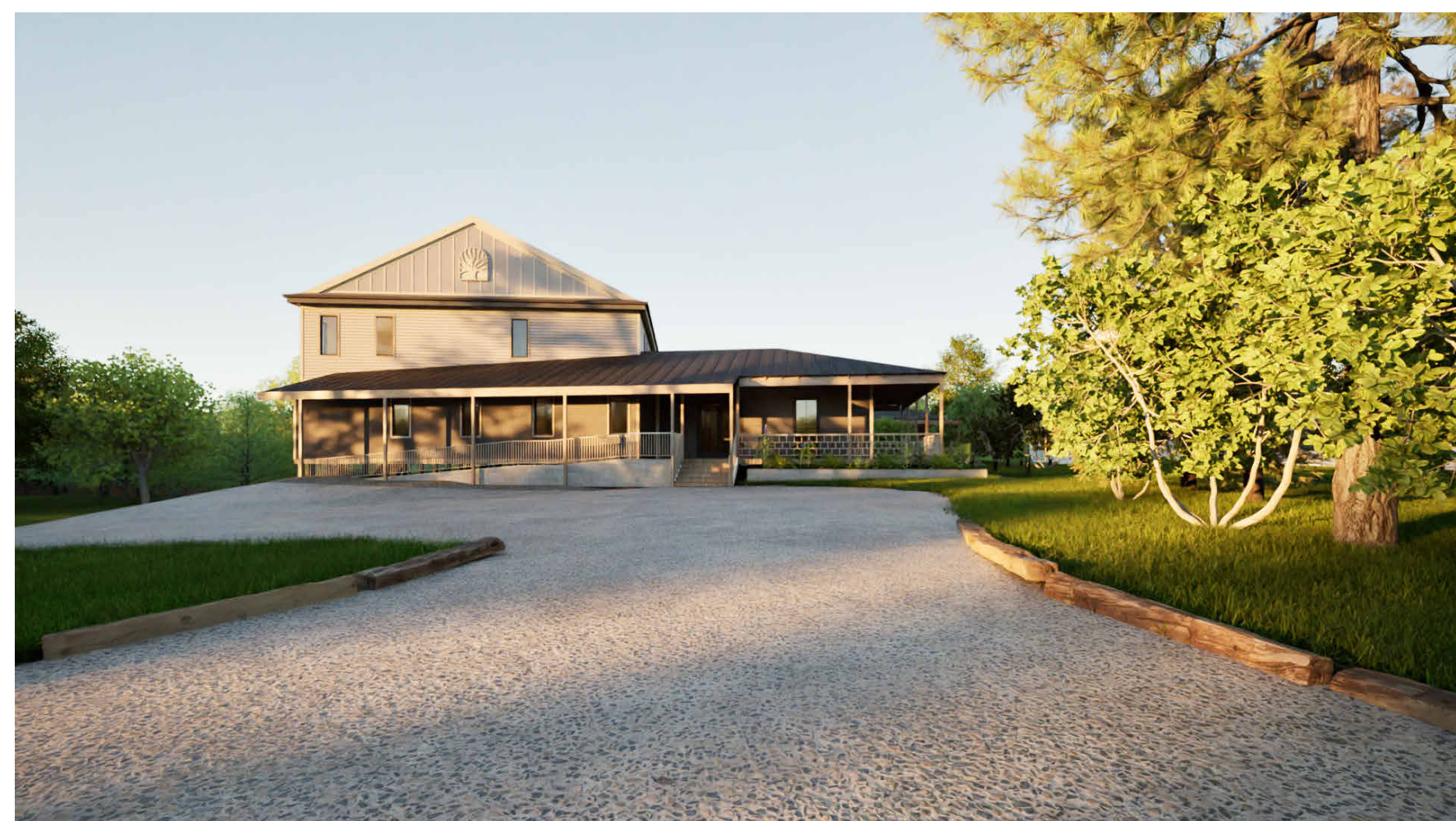
H1 // BUILDING ELEVATION EAST  
1/8" = 1'-0"



L1 // COURTYARD ELEVATION SOUTH  
1/8" = 1'-0"



L9 // COURTYARD ELEVATION NORTH  
1/8" = 1'-0"



VIEW AT DRIVEWAY



VIEW AT COURTYARD



VIEW FROM EXISTING BUILDING



VIEW FROM EXISTING DRIVE



VIEW FROM ABOVE



VIEW OF COURTYARD



K1 // SITE ELEVATION NORTH  
1/16" = 1'-0"

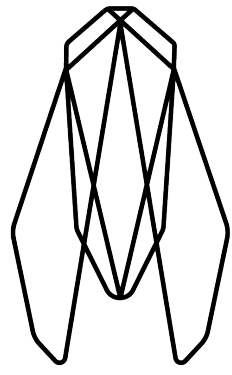
CICADA

LONGBRANCH ABITA

EMILY MEYERS  
21516 LA-36, Abita Springs, LA 70420

PROJECT NO:	123027
PHASE:	PLANNING + ZONING
ISSUED FOR:	
DATE:	03/28/2024

SITE ELEVATION + RENDERINGS

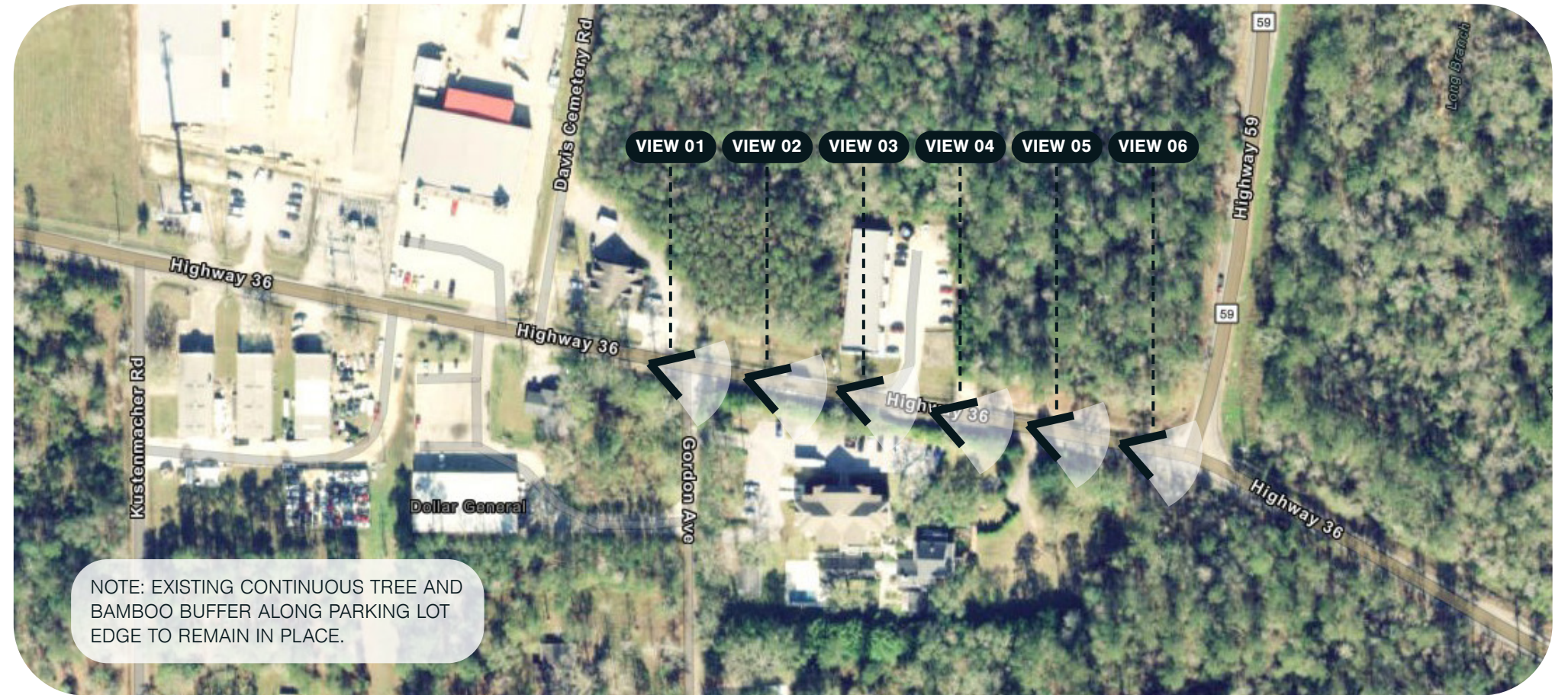


# // LONGBRANCH

## PARKING LOT VIEW STUDY

LONGBRANCH RECOVERY & WELLNESS CENTER  
21516 LA-36  
ABITA SPRINGS, LA 70420

- VIEW 01 VIEW FROM LA-36 AND GORDON AVE INTERSECTION
- VIEW 02 VIEW ADJACENT TO EXISTING PARKING LOT
- VIEW 03 VIEW ADJACENT TO EXISTING PARKING LOT
- VIEW 04 VIEW ADJACENT TO EXISTING PARKING LOT
- VIEW 05 VIEW AT NEW DRIVE TO PROPOSED PARKING ENTRANCE
- VIEW 06 VIEW FROM LA-36 AND LA-59 INTERSECTION



VIEW 01

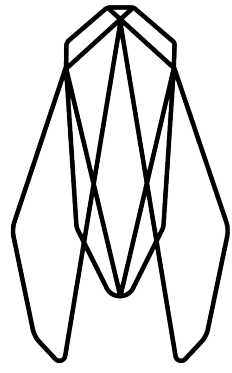


VIEW 02



VIEW 03



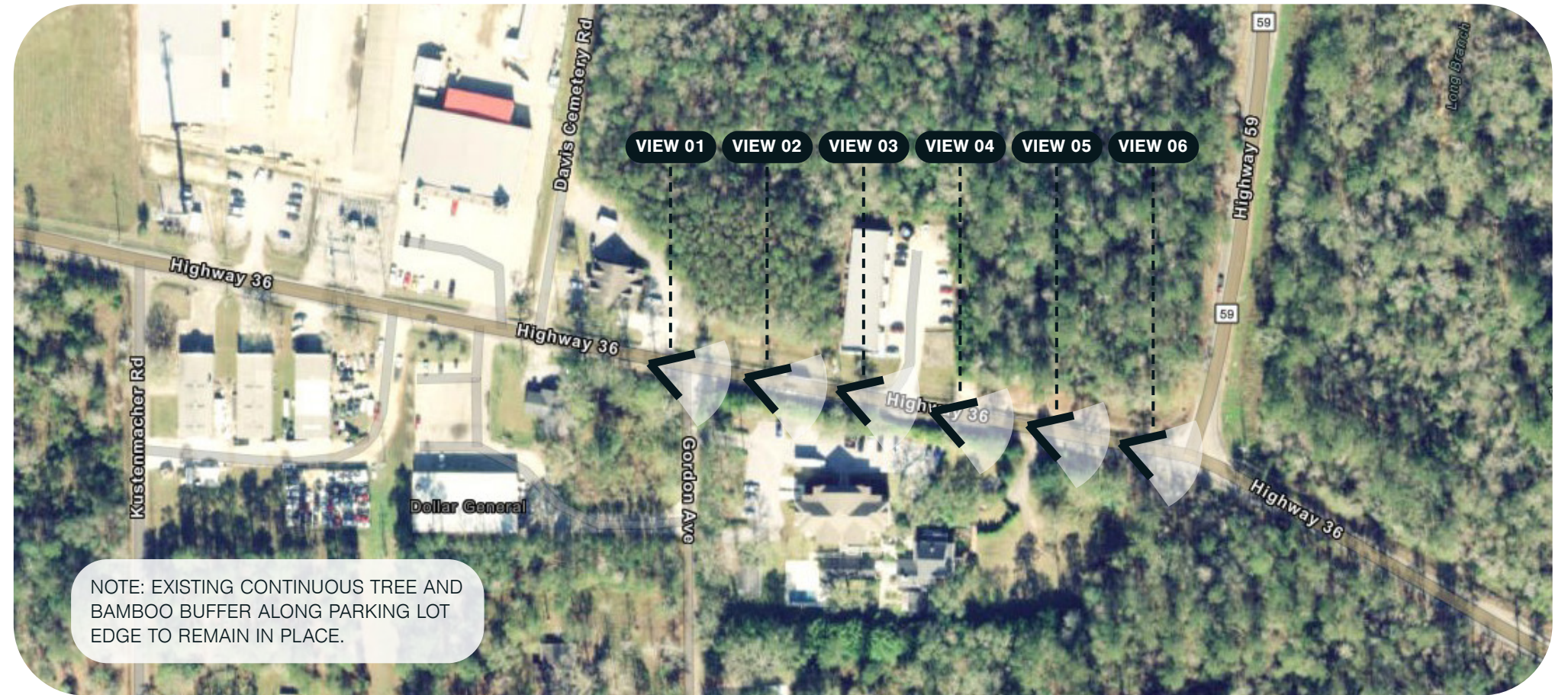


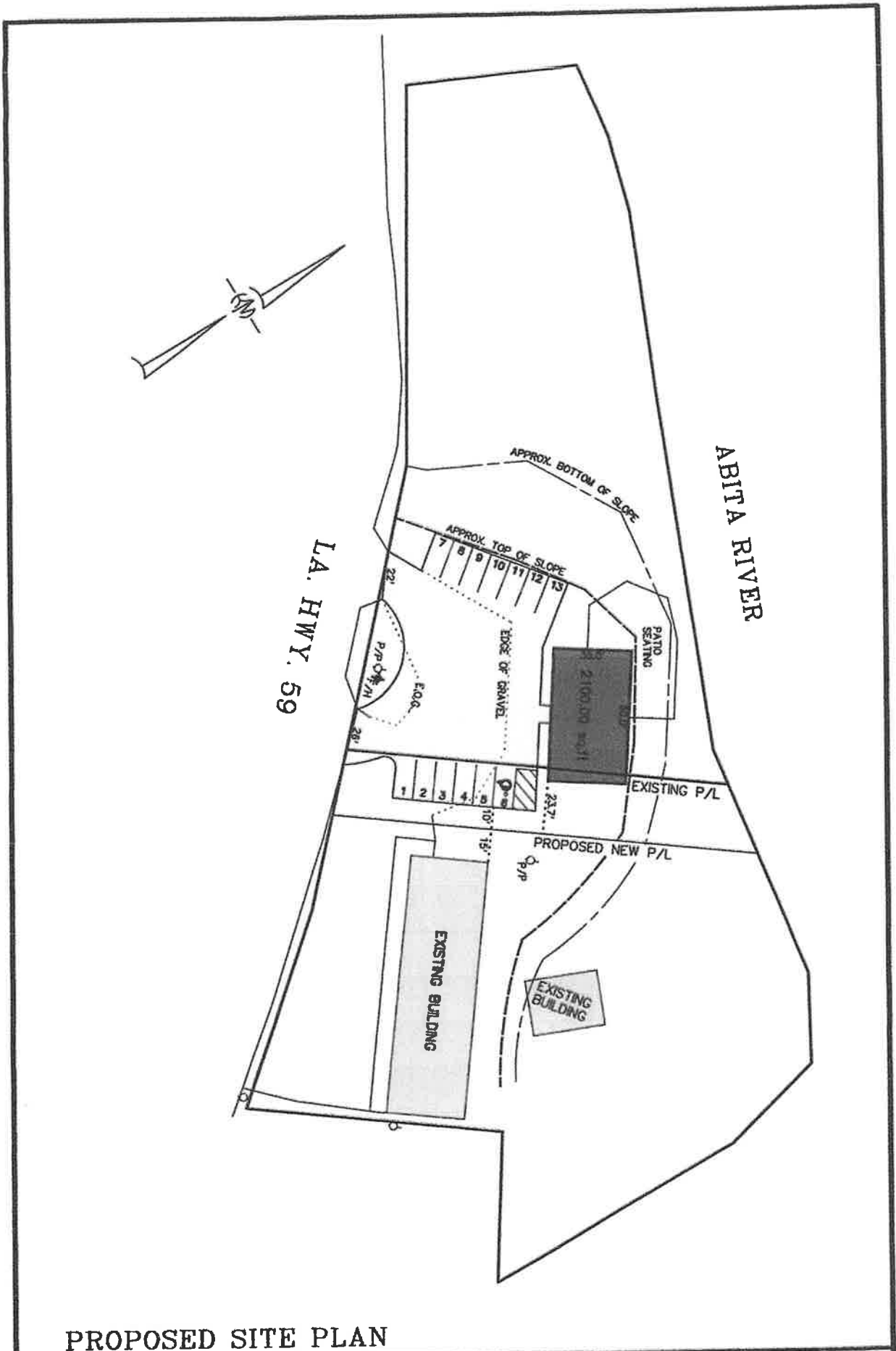
# // **LONGBRANCH**

## **PARKING LOT VIEW STUDY**

LONGBRANCH RECOVERY & WELLNESS CENTER  
21516 LA-36  
ABITA SPRINGS, LA 70420

- VIEW 01 VIEW FROM LA-36 AND GORDON AVE INTERSECTION
- VIEW 02 VIEW ADJACENT TO EXISTING PARKING LOT
- VIEW 03 VIEW ADJACENT TO EXISTING PARKING LOT
- VIEW 04 VIEW ADJACENT TO EXISTING PARKING LOT
- VIEW 05 VIEW AT NEW DRIVE TO PROPOSED PARKING ENTRANCE
- VIEW 06 VIEW FROM LA-36 AND LA-59 INTERSECTION

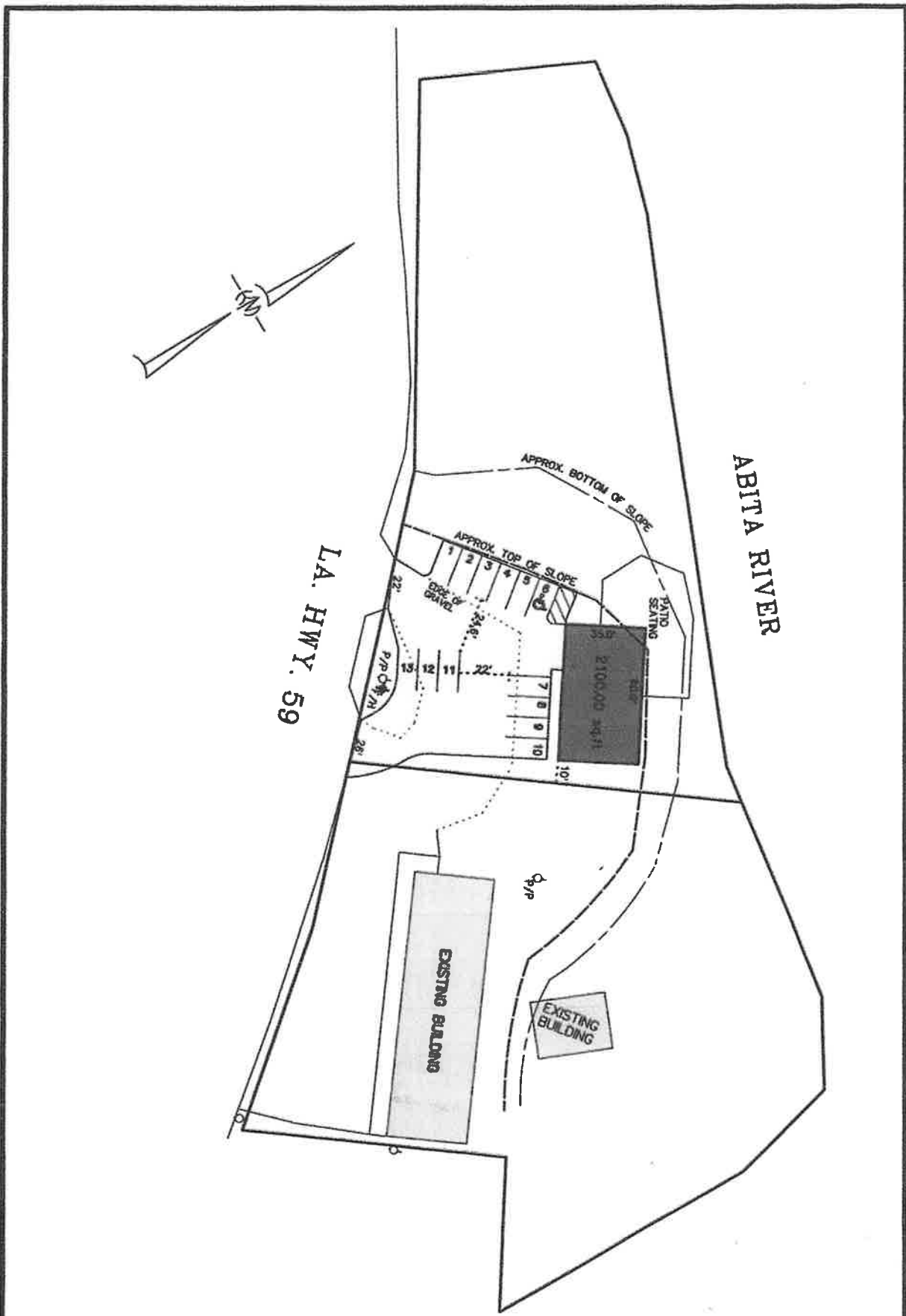




**PROPOSED SITE PLAN**

0.852 ACRES, TOWN OF ABITA SPRINGS, ST. TAMMANY PARISH, LA.			
SCALE:	1" = 50'	DATE:	08-21-23
DRAWN:	DRJ	JOB NO.:	21-174
REVISED:			

**KELLY J. McHUGH & ASSOC., INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 845 GALVEZ ST., MANDEVILLE, LA. 626-5611

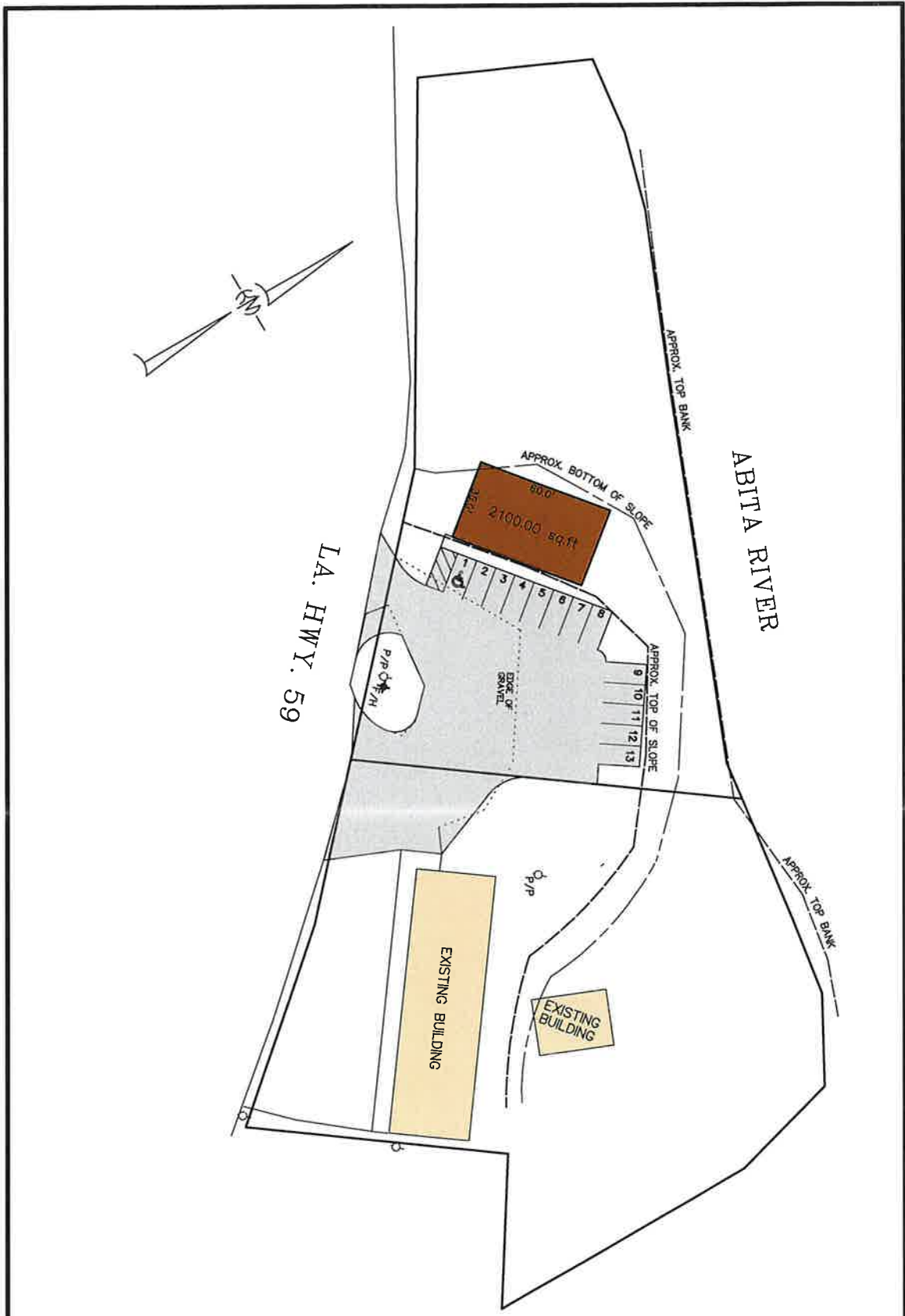


**PROPOSED SITE PLAN**

**0.852 ACRES,  
TOWN OF ABITA SPRINGS,  
ST. TAMMANY PARISH, LA.**

SCALE:	1" = 50'	DATE:	08-21-23
DRAWN:	DRJ	JOB NO.:	21-174
REVISED:			

**KELLY J. McHUGH & ASSOC., INC.**  
**CIVIL ENGINEERS & LAND SURVEYORS**  
 845 GALVEZ ST., MANDEVILLE, LA. 628-5611



PROPOSED SITE PLAN

0.852 ACRES,  
TOWN OF ABITA SPRINGS,  
ST. TAMMANY PARISH, LA.

KELLY J. McHUGH & ASSOC., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE:	1" = 50'	DATE:	02-28-24
DRAWN:	DRJ	JOB NO.:	21-174
REVISED:			