



PUBLIC COMMITTEE MEETING AGENDA
Tuesday, August 4, 2020 at 6:00PM
Abita Springs Town Hall
22161 Level St., Abita Springs, LA 70420

Posted: July 30, 2020 5:00pm

CALL TO ORDER AND OPENING OF AGENDA: Mayor Pro Tem Murphy
PLEDGE OF ALLEGIANCE: Alderman Contois

MAYOR'S ANNOUNCEMENTS: Busker and Labor Day events

FINANCE COMMITTEE:

Committee Chair: Alderwoman Contois
Committee Member: Mayor Pro Tem Murphy
Acceptance of Minutes (July)

1.) June Financial Report - Jay Hawkins

GOVERNMENTAL COMMITTEE:

Committee Chair: Alderman Saussy
Committee Member: Mayor Pro Tem Murphy
Acceptance of Minutes (July)

1.) Discussion of the Historic Commission recommendations related to the size of porches and fencing setbacks and height.

2.) Discussion of the Historic Commission recommendation relative to the establishment of a Certificate of Appropriateness application fee.

INFRASTRUCTURE COMMITTEE:

Committee Chair: Alderman Patterson
Committee Member: Alderman Saussy
Acceptance of Minutes (July)

1.) Discussion of the Abita Springs Nature Trails Phase 2, Louisiana Recreational Trails Program Grant.

2.) Discussion of the Lift Station Rehabilitation Project contract award.

ECONOMIC DEVELOPMENT COMMITTEE:

Committee Chair: Alderwoman Randolph
Committee Member: Alderwoman Contois
Acceptance of Minutes (July)

ADJOURNMENT:

If you have any questions pertaining to this agenda or in accordance with the Americans with Disabilities Act, if you need special assistance, please call (985) 892-0711.

DRAFT

June 23, 2020

To: Board of Aldermen / Mayor's Office

RE: Historic Commission Recommendations

Prepared By: Kristin Tortorich & Mark Fancy - Planning and Zoning

Subject: Proposed amendments to the Abita Springs Design Review Guidelines regarding front porches (new residential construction) and fences for corner lots

Background: The Historic Commission has reviewed proposed amendments to the Design Review Guidelines regarding the minimum width of front porches (for new construction) and standards for fences on corner lots. The proposed amendments are attached.

The proposed amendment to the Design Review Guidelines regarding porches would increase the minimum depth (new construction) from 7 feet to 8 feet. The Historic Commission felt that the 8-foot standard would be make more efficient use of standard 8-foot lumber and would also afford a greater area for tables, chairs, etc.

The proposed amendments for fences on corner lots would extend the maximum front yard fence height of 4 feet along all side yard street frontages. The amendments also address fence heights for rear yard privacy fences for corner lots (street side) where the rear yard abuts the side yard of an adjacent property.

The photos below show a fence that was recently constructed on a corner lot at 7th Street and St. Mary Street. The first photo shows the side yard privacy fence along the street that is approximately 7 feet high. The following photos show the rear yard privacy fence that is approximately 10 feet high (which exceeds the current 7-foot height standard). Under the proposed amendments, the maximum fence height for this type of privacy fence would be reduced to 4 feet for the length of a 30-foot setback from the street side property line.





Recommendation: At the June 9, 2020 meeting, the Historic Commission voted to recommend adoption of the proposed amendments by the Town Council.

Alternatives:

- A. Direct staff to prepare an adoption ordinance for the proposed amendments as presented;
- B. Modify the proposed amendments and direct staff to prepare an adoption ordinance; or
- C. Take no action.

DRAFT

Proposed new language is shown **bold and underlined**. Language proposed for deletion is shown ~~struck thru~~.

Proposed amendments to page 54 of the Abita Springs Design Review Guidelines

Chapter 5 - New Residential Construction

2.0 NEW CONSTRUCTION OF PRIMARY DWELLINGS

2.6 Match materials of surrounding dwellings.

Windows and Doors: Materials for windows and doors shall be wood or simulate the appearance of wood. Window types shall be hung windows (double, single, etc.) with a 2:1 height to width ratio minimum.

Porches: New dwellings (except garages and accessory buildings) shall have front porches. Porches shall be two-thirds minimum of total width of the front façade. The front porch shall have a minimum depth of ~~7'0"~~ **8'0"**. Any side/back porches shall have a minimum depth of 4'0".

Porch Columns: Porch columns shall be wood or simulate the appearance of wood. Column types may include turned or rounded, rectangular, or square and may have chamfered (beveled) corners and be fluted, and shall be in the character of the main structure.

Proposed amendments to page 45 of the Abita Springs Design Review Guidelines

Chapter 4 - Rehabilitation Guidelines for Residential Historic Properties

14. Site Features

14.2 New fences and walls should blend with the historic character of their surroundings.

New fences and walls shall be constructed of traditional or similar materials that visually match authentic examples. New wood fences located in a front yard should not exceed 48" in height and be supported by wood posts (4" by 4" recommended) with no more than 3" of spacing between the pickets. Fences may have flat, spear, gothic, or pointed tops.

For corner lots, these standards shall apply to new fences in any side yard along a street frontage.

14.3 Traditional fence materials are recommended.

For front yards wood fences are recommended, but these may also be of wrought iron, metal garden (scallop or square grid) or metal picket. Vinyl fences are not allowed if they are visible from the street. New chain link fences are not permitted within the historic district.

14.4 Privacy fences and hedges may be appropriate.

For privacy in back yards, wood fences may be installed up to 7' in height or 6' with 2' with a framed lattice top. Wood supports measuring 4" by 4" or metal pipe are recommended. Privacy fences must be set back from the main façade by at least one-third of the total depth of the house. **For corner lots with privacy fences in rear yards that abut a side yard of an adjacent property, the setback is at least 30 feet from the street side property line.** Maintain the fence with regular painting. Living fences, such as hedges or other landscaping, are attractive alternatives to chain-link or privacy fences.

DRAFT

July 14, 2020

To: Board of Aldermen & Mayor's Office

RE: Historic Commission Recommendation

Prepared By: Kristin Tortorich, Planning & Zoning Director

Subject: Proposed fee change for the Historic Applications

Background: The Historic Commission has reviewed proposed fees

Recommendation: At the June 9, 2020 meeting, the Historic Commission recommended the Administrative Office estareinstate fees for Historic Applications.

\$25.00 charge for application for the following: Install Fences, Install Signs, Change Paint Color

\$50.00 charge for application for the following: Residential New Construction, Accessory Buildings, Ancillary Buildings, or Remodels and Renovations

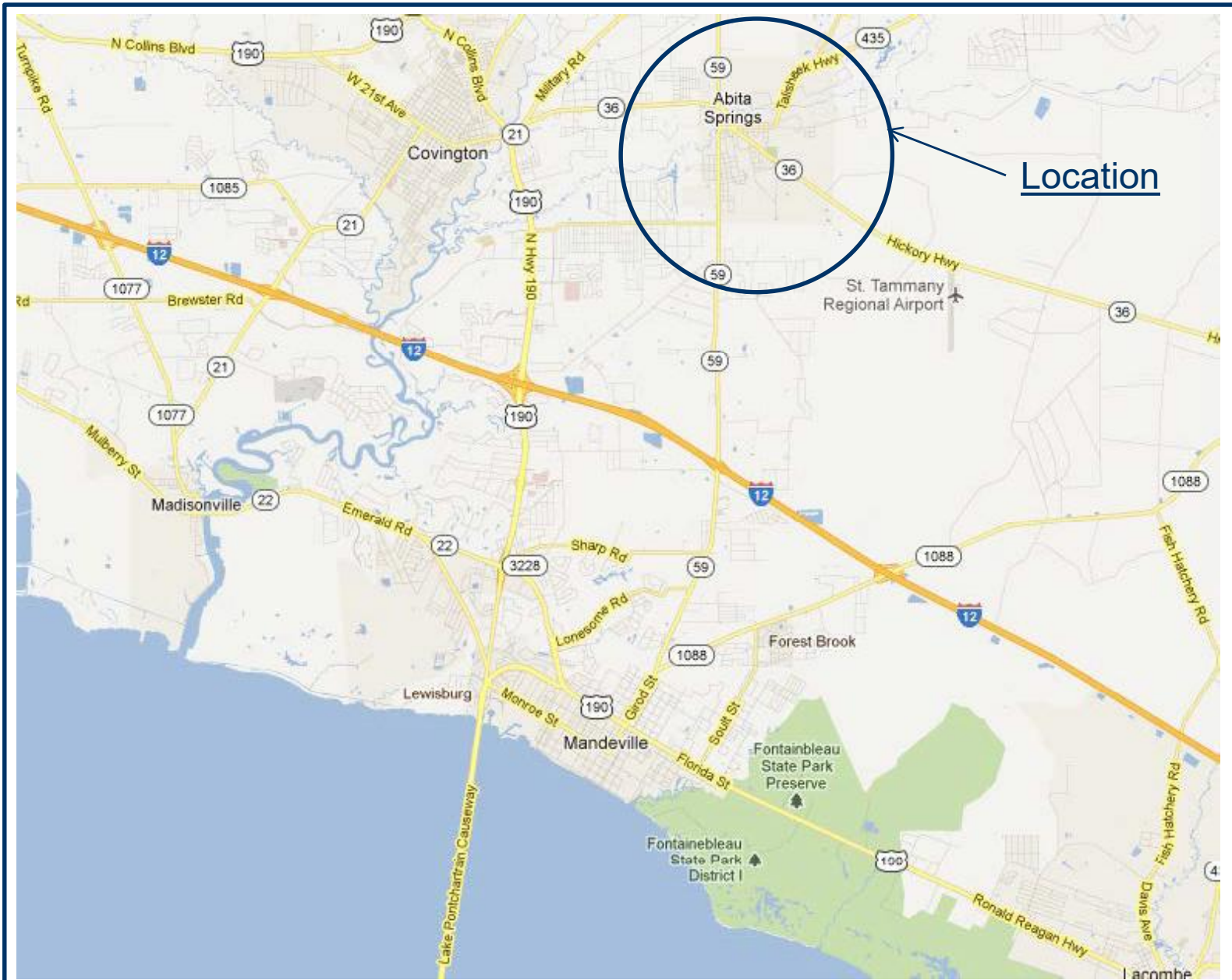
\$100.00 charge for Commercial Building Applications

Town of Abita Springs

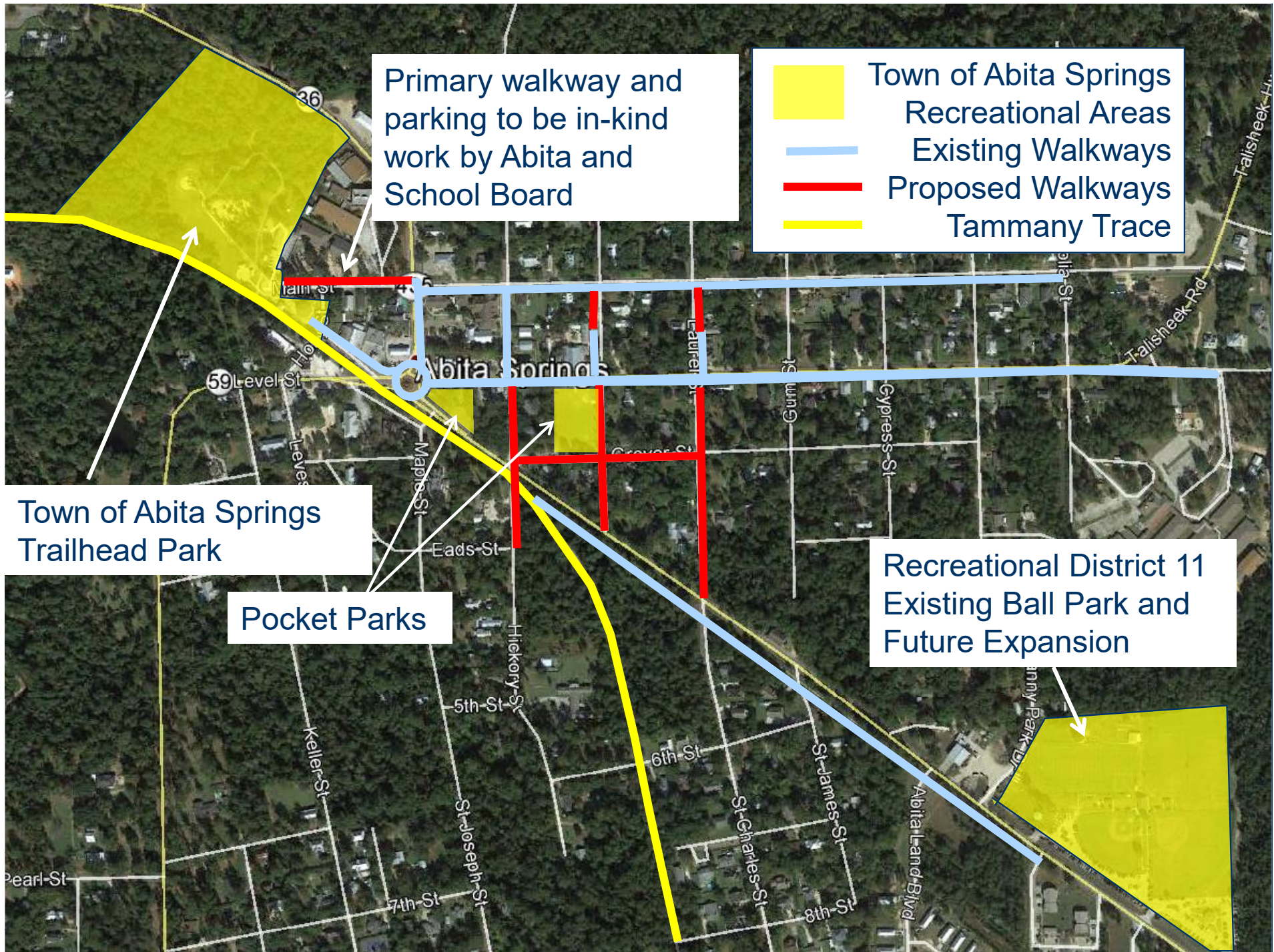
Town of Abita Springs, La.



Conceptual Plan Document
Abita Springs Park Nature Trail, Phase 2



Vicinity Map – Town of Abita Springs



Primary walkway and parking to be in-kind work by Abita and School Board

- Town of Abita Springs Recreational Areas
- Existing Walkways
- Proposed Walkways
- Tammany Trace

Town of Abita Springs Trailhead Park

Pocket Parks

Recreational District 11 Existing Ball Park and Future Expansion



Trail Head Park:

- Wooded nature Trail on Abita River
- Asphalt walking trail
- Water feature
- Playground with soft surface access path
- Gazebo, Amphitheater, visitor center

Existing walkways not shown, see prior map

Cost Estimate

Estimate				
Total Length	3160 Linear Feet interconnecting walkways			
Description	Quantity	Unit	Unit Price	Cost
Clearing and Grubbing	1	Lump Sum	\$ 2,500	\$ 2,500
Removal of Structures and Obstructions	1	Lump Sum	\$ 1,000	\$ 1,000
Excavation and Embankment	1	Lump Sum	\$ 1,500	\$ 1,500
Side Drain Pipe 24"	48	Linear Feet	\$ 70	\$ 3,360
Side Drain Pipe 15"/18"	112	Linear Feet	\$ 40	\$ 4,480
Yard Drain Pipe 6"	200	Linear Feet	\$ 15	\$ 3,000
Junction Box	4	Each	\$ 2,000	\$ 8,000
Concrete Walk (4" thick)	1100	Sq. Yards	\$ 37	\$ 40,700
Concrete Walk for driveways (6" Thick)	200	Sq. Yards	\$ 50	\$ 10,000
Temporary Signs and Barricades	1	Lump Sum	\$ 2,500	\$ 2,500
Mobilization	1	Lump Sum	\$ 5,000	\$ 5,000
Thermoplastic Pavement Striping (12" wide)	400	Linear Feet	\$ 6	\$ 2,400
Thermoplastic Pavement Striping (6" wide)	300	Linear Feet	\$ 5	\$ 1,500
Sawcutting	500	Linear Feet	\$ 4	\$ 2,000
Contingency (10%)				\$ 8,000
Construction Cost				\$ 95,940
Engineering				\$ 8,000
Inspection				\$ 6,000
Allowance for Land Survey				\$ 5,000
In kind: Main Street connection to trailhead park sidewalk rebuild, signs, markings, parking bumpers				\$ 10,000
Estimated Cost of Project				\$ 124,940

Construction Estimate: \$91,740

In-kind Estimate: \$29,000 (23% of total cost)

Work Plan

Description of required work

Planning:

- The Town of Abita Springs will conduct a survey of the proposed location of the walkways to determine exact right of way location, drainage, utilities, trees, obstructions and dimensions.
- The engineer will use the survey data to lay out the exact location of the sidewalk on design plans that show the exact construction details. The project will then have the specifications and bid documents developed for bidding purposes.
- Once the Town of Abita bids, and contracts the project, the engineer and construction inspector will manage the construction of the project to meet all requirements of the grant and the contract.

Description of Construction:

- Construct a new 4 feet wide 4,000 PSI fiber reinforced walkways at locations according the map locations on: Live Oak Street, Laurel Street, Grover Street, and Hickory Street.
- The Town of Abita Springs and the St. Tammany School Board will replace the failed sidewalk along Main Street which is a primary access to the Trailhead Park. The parking along Main Street will be re-striped and parking bumpers installed to protect the sidewalk from vehicle parking.
- The thickness of the walkway will be 4 inches thick in areas where there is no vehicular traffic. Where there is vehicular traffic, the thickness of the concrete will be high early strength, 6 inches thick, and reinforced with 6 inch by 6 inch by 6 gage highway mesh throughout. All new walkways will have the appropriate number of expansion and construction joints.
- The location is expected to be located in Town of Abita rights of way and behind the roadside ditch as much as possible.
- The sidewalk is expected to be primarily constructed at grade and existing flow patterns will be maintained. The sidewalk will be raised in some areas and the drainage will be accommodated using drainage culvert at designed locations.
- All road crossing will be marked with the required cross walk thermoplastic striping and truncated domes.

Schedule

Planning: 148 days

- Survey 60 days
- Design 60 days
- Plan review and final revisions 14 days
- Specifications and bid documents 14 days

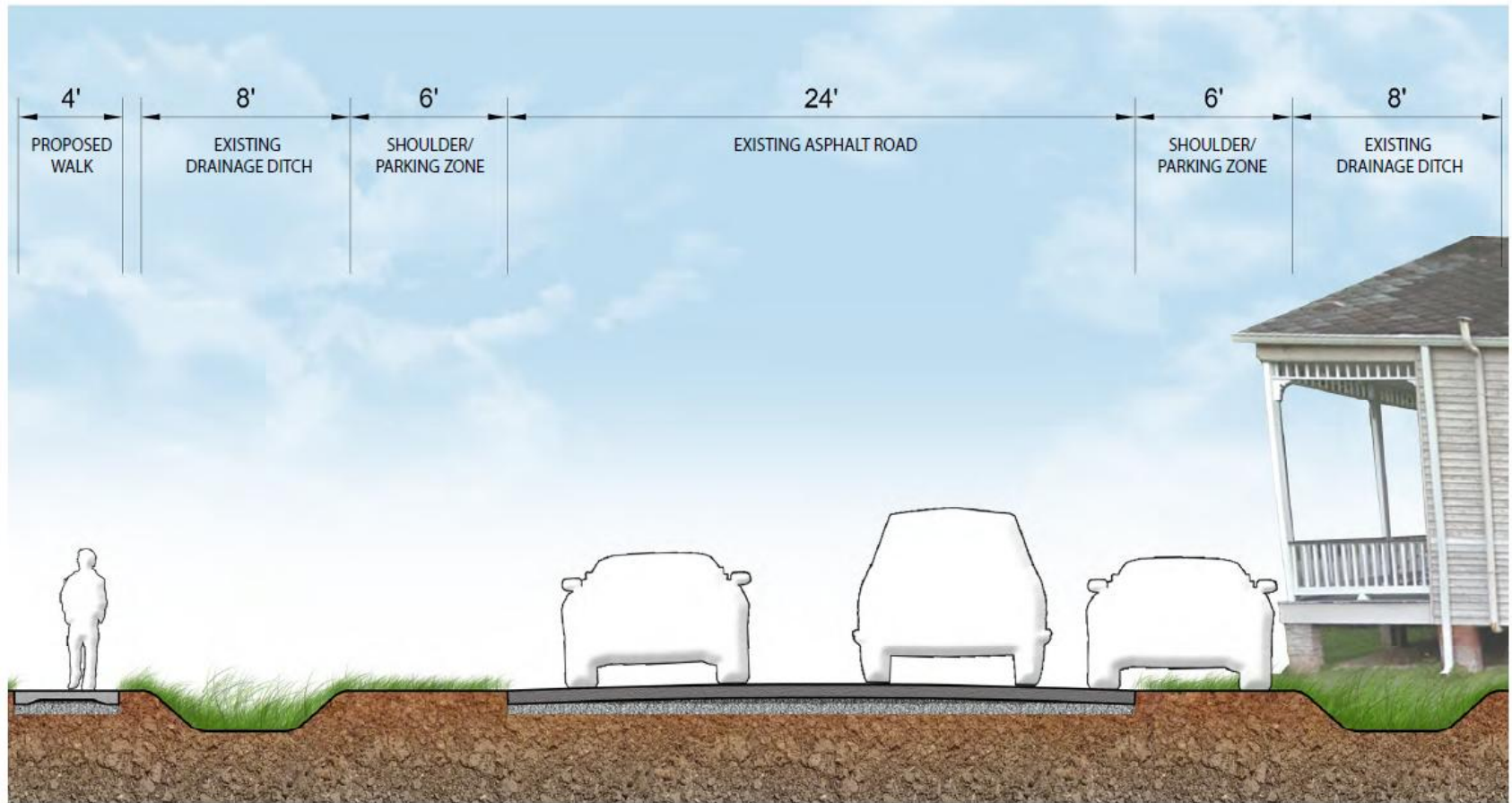
Bidding and contracting: 120 days

- Request, receive and accept bids 60 days
- Contracting, notice to proceed, assembly 60 days

Construction and close out: 90 days



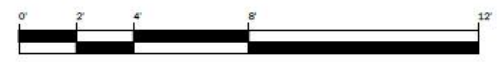
Conceptual Cross Section



DANA BROWN & Associates

ABITA SPRINGS HISTORIC DISTRICT TRAILS
ABITA SPRINGS, LA 70420

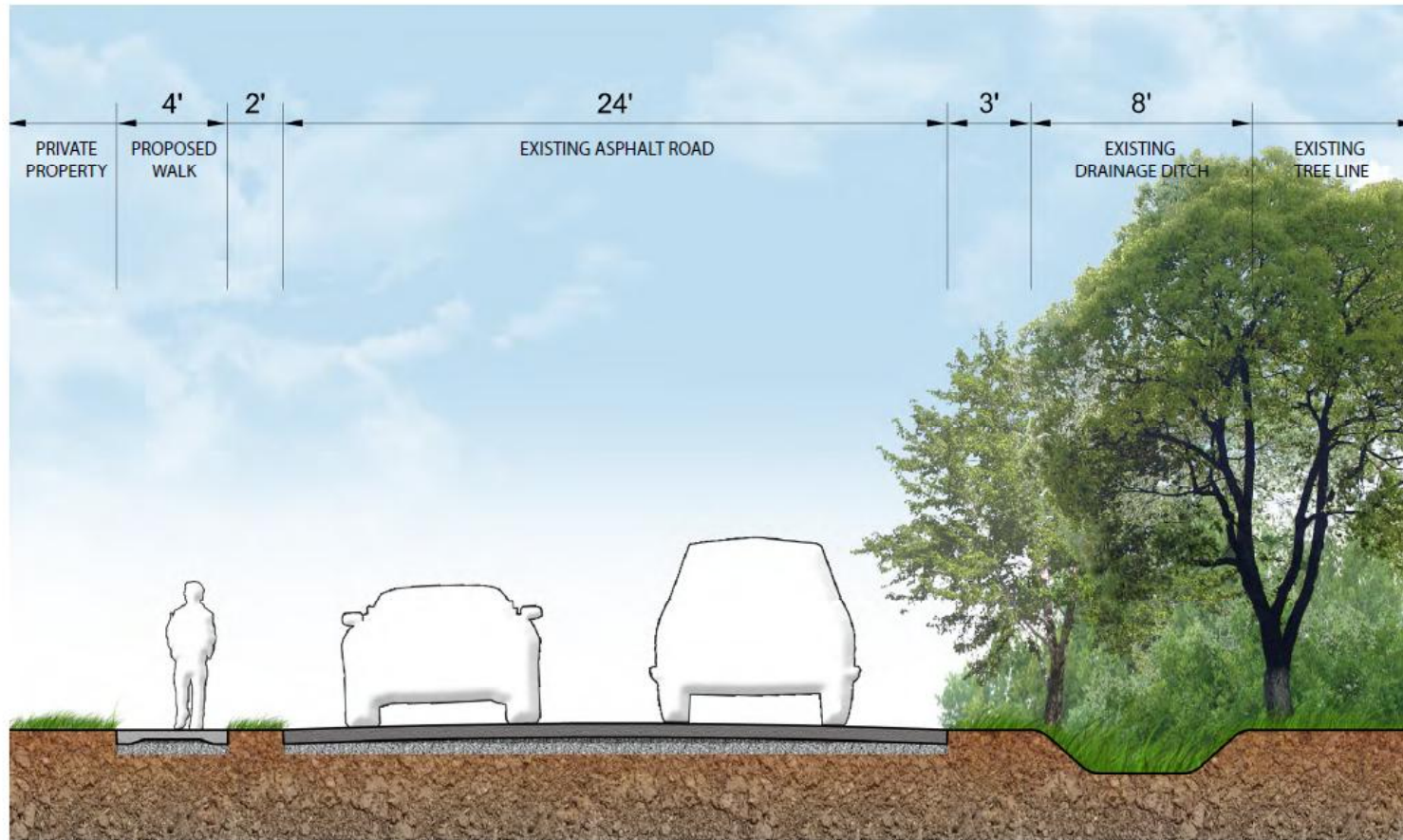
1 CROSS-SECTION A
Scale: 1/4" = 1'-0"



D&A project number
DATE
10 JUNE 2015
SCALE
SHEET TITLE
SHEET NO.
CROSS-SECTION A

ALL RIGHTS RESERVED. © 2015 DANA BROWN & ASSOCIATES, L.L.C. ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF DANA BROWN & ASSOCIATES, L.L.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DANA BROWN & ASSOCIATES, L.L.C.

Conceptual Cross Section



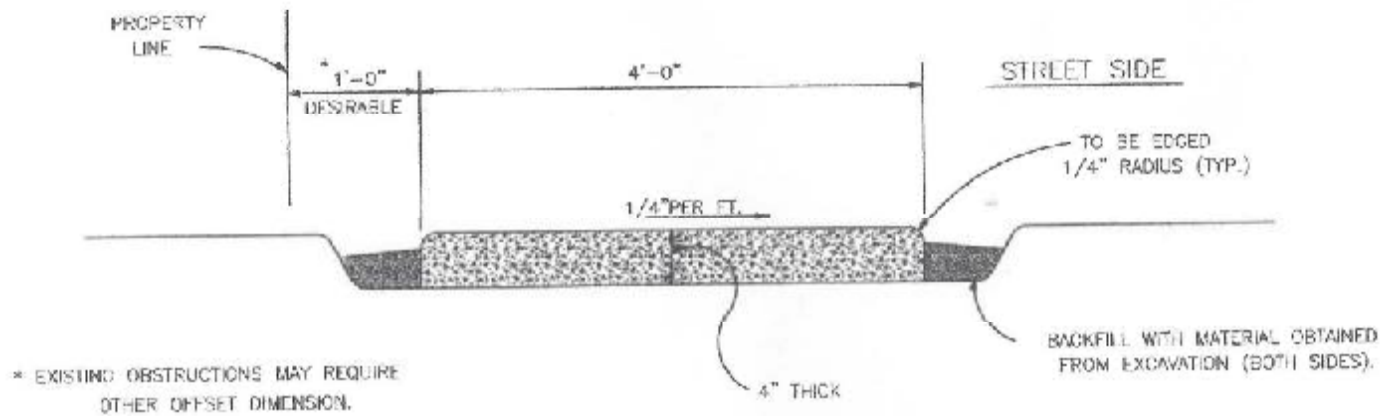
DANA BROWN & Associates

ABITA SPRINGS HISTORIC DISTRICT TRAILS
ABITA SPRINGS, LA 70420

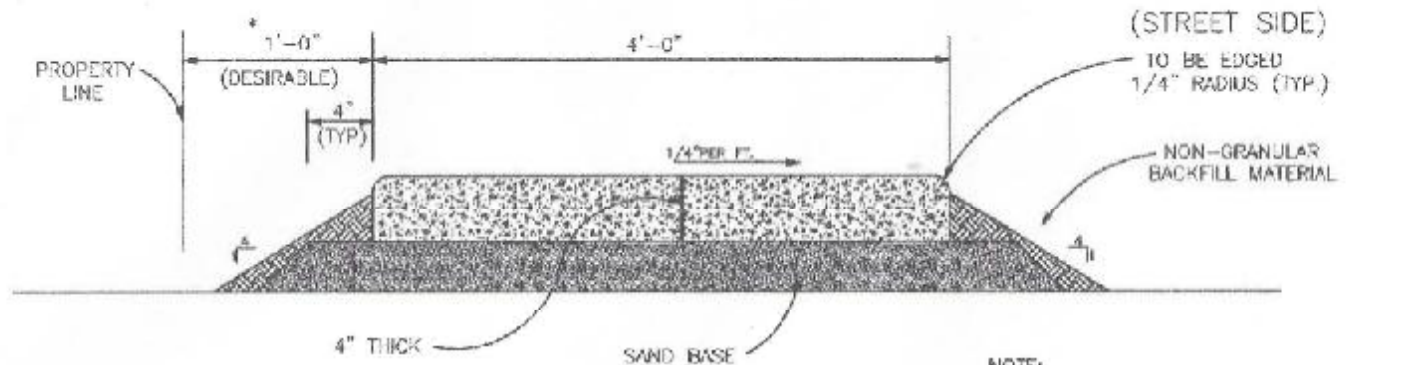
DATE: 10 JUNE 2015
SHEET NO.: CROSS-SECTION B

1 CROSS-SECTION B
Scale: 1/4" = 1'-0"

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT OR THE INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DANA BROWN & ASSOCIATES.



TYPICAL CUT SECTION

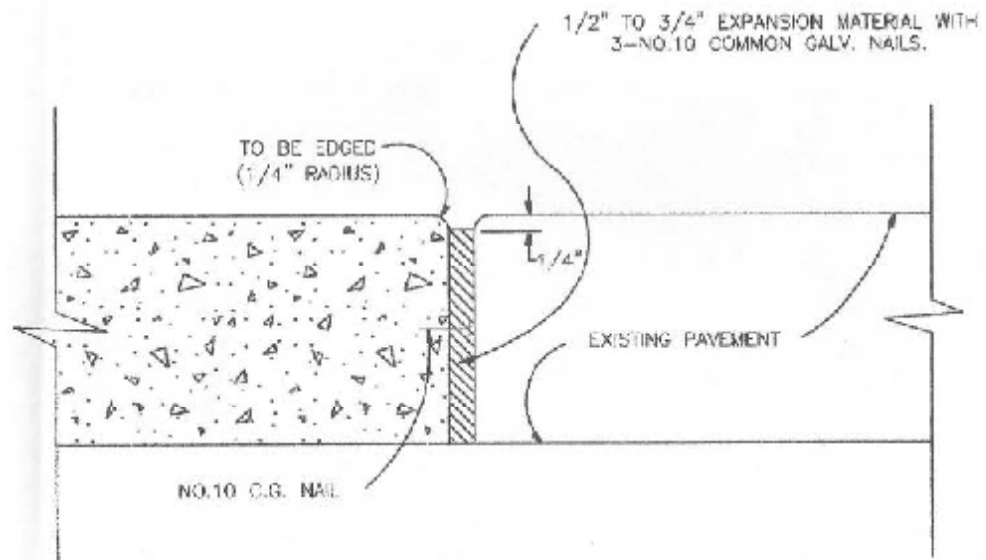


NOTE:

6" (MIN.) DIA. PVC PIPE (SCHEDULE 40) TO BE PLACED UNDER SIDEWALK IN FILL SECTIONS AT INTERVALS NOT EXCEEDING 32'. PIPE LENGTHS MAY VARY DEPENDING ON SLOPE.

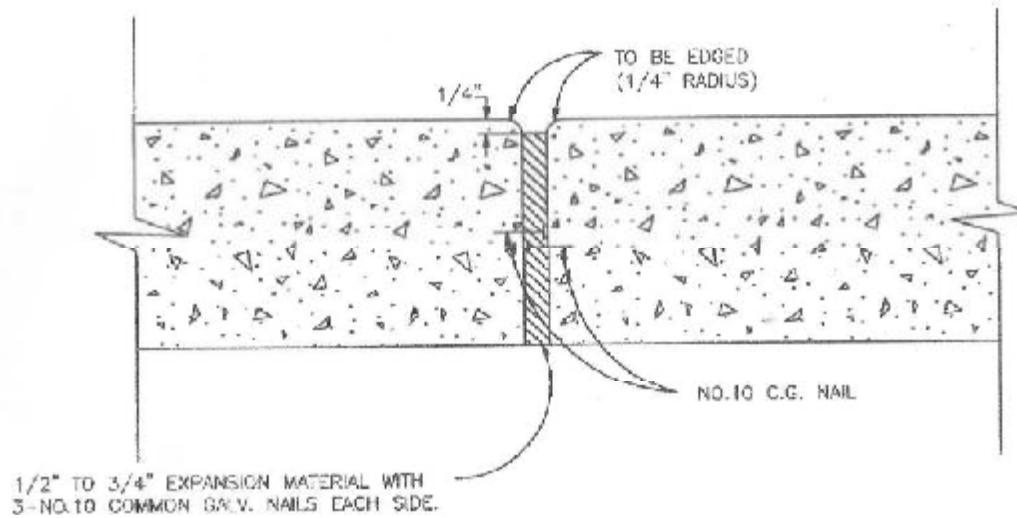
TYPICAL FILL SECTION

N.T.S.



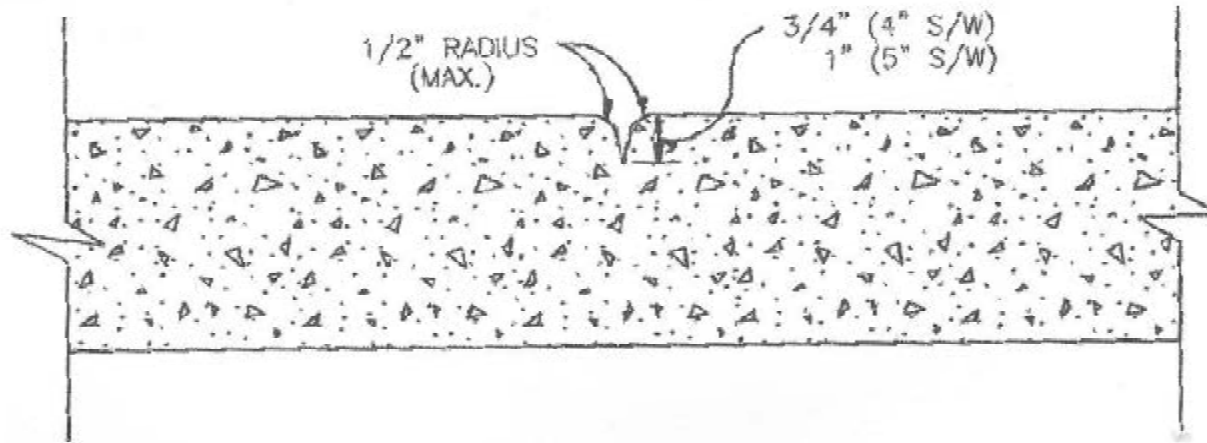
EXPANSION JOINT (TYPE "B")

(AT EXISTING PAVEMENT)
(MAXIMUM SPACING = 20'-0")



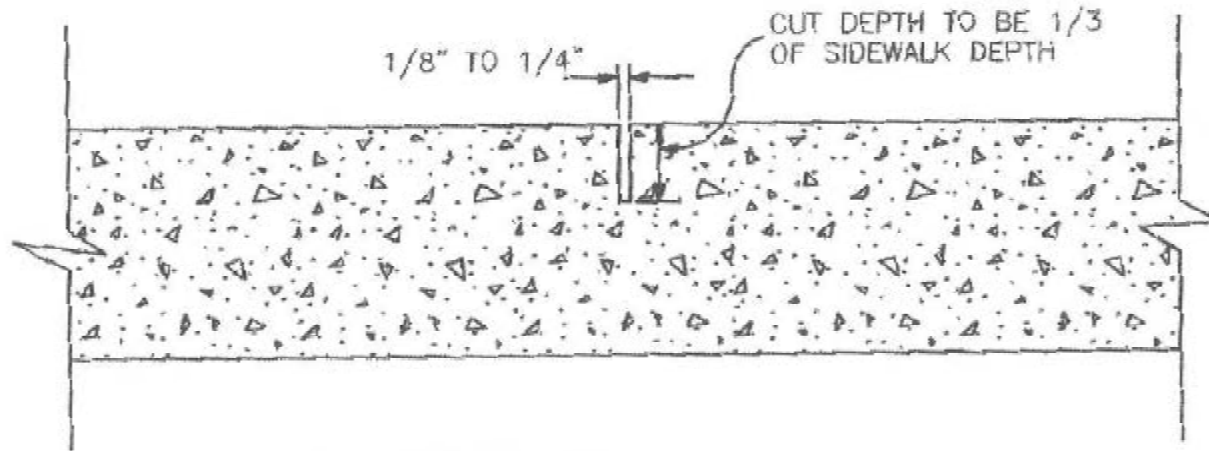
EXPANSION JOINT (TYPE "A")

(MAXIMUM SPACING = 20'-0")



HAND TOOLED CONSTRUCTION JOINT

(MAXIMUM SPACING = 4'-0")
SCALE: 1/4" = 1"



SAW CUT CONSTRUCTION JOINT

MAXIMUM SPACING = 4'-0"

Walkway Sample Location



Example Construction



Example Walkway



Proposed sample location
Live Oak Street at pocket park



Proposed sample location
Hickory Street by UCM Museum

Various Pictures



Various Pictures



Town of Abita Springs

Various Pictures





State of Louisiana
DEPARTMENT OF ENVIRONMENTAL QUALITY
OFFICE OF ENVIRONMENTAL ASSESSMENT

July 29, 2020

Town of Abita Springs
Honorable Dan Curtis
22161 Level Street
Abita Springs, LA 70420-0000

Re: Abita Springs – Sanitary Sewer Rehabilitation Program
AI # **98804**
Project # **CS221926-01**
Contract # **002** (Lift Station Rehab)

Dear Mayor Curtis:

The Louisiana Department of Environmental Quality (LDEQ) concurs with the award of the construction contract to the prime contractor as set out below.

Contract	Contractor	Total Amount	Eligible Amount	Contract Days
002	Subterranean Construction, LLC P.O. Box 588 Mandeville, LA 70470 (985) 246-6767	\$1,192,950.00	\$1,192,950.00	210

The Disadvantaged Business Enterprise (DBE) documents have been reviewed and accepted with the following conditions:

When awarding any sub-agreements for procurement of construction, equipment, services, or supplies, the prime contractor must employ the six good faith efforts in soliciting DBEs as required by 40 CFR 33.302(d). All records should be maintained documenting that the appropriate efforts were taken on all sub-agreements awarded.

In order to facilitate our DBE/MBE/WBE reporting to EPA, LDEQ is requesting that copies of the contracts with these subcontractors are submitted along with other payment documentation, when the subcontracts have been executed.

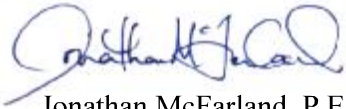
After construction contract execution, the Notice to Proceed (NTP) may be issued by the owner. The NTP should specify the date work shall commence; this date should be after the preconstruction conference.

Please submit the following documents after this contract is awarded.

1. Executed Contract
2. Performance Bonds
3. Payment Bonds
4. Certificate of Insurance
5. Notice to Proceed
6. Construction Progress Charts
 - Include Award Date, Contract Start Date, Construction Start Date, Substantial Completion Date, and beginning and completion dates of major milestones or phases of work.

If you have any questions, please contact Coty Rabalais, E.I. by phone at 225-219-3910 or by email at Coty.Rabalais@La.Gov. Please reference the LDEQ Agency Interest Number (98804), Contract Number (002), and Project Number (CS221926-01) in all future correspondence.

Sincerely,



Jonathan McFarland, P.E.
Administrator

Enclosures

cc: Andre Monnot, P.E., Principal Engineering, Inc.



1011 N Causeway Blvd, Suite 19 ♦ Mandeville, Louisiana 70471 ♦ Phone: 985.624.5001 ♦ Fax: 985.624.5303

July 10, 2020

Town of Abita Springs
Attn: Mayor Dan Curtis
P.O. Box 461
Abita Springs, LA 70420

Re: Lift Station Rehabilitation Project
A/E Project No. 1709D
Recommendation of Award

Dear Mayor Curtis,

On Wednesday, July 8th, 2020, bids for the subject project were received and read aloud in the Town Hall Chambers. Four bids were received, and the tabulated results are presented in the attached spreadsheet.

Pending LADEQ review and approval, Principal Engineering, Inc. recommends award of the base bid to the lowest responsive and responsible bidder, Subterranean Construction, LLC (LA Lic. #34191). The amount of the lowest responsive bid is \$1,192,950.00. All aspects of the low bid appear to be in order.

Due to the needs of funding for emergency repairs in other parts of the system, it is recommended to not move forward with the work described in Alternate 1 in the bid.

Please feel free to call should you have any questions or require any clarification.

Sincerely,
Principal Engineering, Inc.

Andre C. Monnot, P.E.
Vice President

Attachments: Bid Tabulation
Subterranean Construction, LLC Bid, Bid Bond, Corporate Resolution
EPA Documents
Affidavits

PRINCIPAL Infrastructure™

Architecture ♦ Engineering ♦ Construction

www.pi-aec.com ♦ info@pi-aec.com