



PLANNING & ZONING COMMISSION AGENDA

February 27, 2025

Abita Springs Town Hall

TOWN OF ABITA SPRINGS YOUTUBE CHANNEL

- Welcome / Introduction
- Pledge of Allegiance
- Roll Call
- Call for Agenda Modifications
- Acceptance of Minutes from January 30, 2025, meeting

PLANNING:

Public Hearings:

- Adoption of the Abita Springs Safe Streets for All Action Plan
- The revocation and/or swap of an approximately 15,000 square foot portion of unopened 13th Street between the St. Tammany Trace and St. Charles Street. A map of the area proposed for revocation is available at townofabitasprings.com/planningzoning

ZONING:

- Review of proposed draft zoning classifications

DISCUSSION:

- Short Term Rental Application: 71317 St. Joseph Street
- Review request for setback variance for 22201 Level Street
- Public Comments
- Announcements
- Adjournment

In accordance with the Americans with Disabilities Act, if you need special assistance, please contact us at (985) 892-0711. Please contact Town Hall at the same number for additional information regarding this agenda.

Zoning: Medical and dental clinics for human patients are a permitted use in the Residential District under Town Code Sec. 9-218(a)(22). The Historic Commission reviewed the proposed expansion and approved a Certificate of Appropriateness for the proposed project on January 14, 2025.

Access: Since Harrison Avenue is a Parish maintained Street, St. Tammany Parish is managing the access permit, which has been applied for and is scheduled to be heard at the March 11, 2025, Planning Commission meeting.

Parking: Town Code Section 9-211(e) provides the following off-street parking requirements for Commercial business and professional offices:

e. One space for each 300 feet of gross floor area;

The proposed building will be approximately 11,290 square feet, which would require 38 spaces. The applicants' site plan shows 49 parking spaces, including 4 ADA-accessible parking space. The number of parking spaces shown on the site plan exceeds the parking requirements of Section 9-211(e).

To develop the site 10 trees need to be removed. Town Code Sec. 9-703(b) requires issuance of a Development Clearing Permit for any nonresidential development that requires removal of five (5) or more trees.

Applicable requirements:

Sec. 9-703. Permits required to remove, clear or harvest trees.

Prior to any tree removal, residential clearing, development clearing, or timber harvesting, as defined herein, within the Town of Abita Springs, a tree removal, residential clearing, development clearing, or timber harvesting permit shall be obtained for these respective activities.

- (b) *Residential clearing or **development clearing permit***. A residential clearing or development clearing permit shall be required when removing in excess of five trees in conjunction with the issuance of a single-family residential building permit or a development permit for multifamily or nonresidential development. The removal of less than five trees shall not require a separate clearing permit, however, the species, size and location of the trees to be removed shall be depicted on the site plan for the residential building or development permit.

Sec. 9-707. Requirements for issuance of residential clearing or development clearing permits.

The following shall be the requirements for the issuance of a residential clearing or development clearing permit:

(b) *Development clearing permit requirements.*

- (1) A development permit or preliminary subdivision approval by the planning commission and notice to proceed shall be required to be issued in conjunction with the issuance of a development clearing permit for the same site, prior to the commencement of any tree clearing or removal.
- (2) There shall be no development clearing in conjunction with the development of new subdivisions or roadways, except as necessary for the installation of new roadways or other infrastructure improvements approved by the planning commission, subsequent to the recommendation of the landscape commission as provided by the urban forestry Ordinance No. 184, Section 7.C.3.
- (3) A landscape plan shall be required to be submitted and approved by the planning commission for all multifamily and nonresidential developments, prior to the issuance of a development clearing permit.
- (4) Buffer requirements in conjunction with the issuance of a development clearing permit: The following requirements are mandatory. All buffers required shall be exclusive of all easements, servitudes and/or rights-of-way within the property.
 - a. **Roadway buffer.** A managed buffer of at least 25 feet in width along improved roadways and dedicated street rights-of-way shall be preserved in accordance with an approved landscape plan. Access through the buffer shall be limited to one two-way or two one-way drives per 200 feet of street frontage, in accordance with section 8.A. of urban forestry Ordinance No. 184.
 - b. **Waterway buffer.** A minimum uncut vegetation buffer of at least 50 feet in depth from the centerline of the stream channel along both banks of all established natural stream beds, riverbanks and improved drainage canals shall be preserved uncut.
 - c. **Adjacent-use buffer.** A managed buffer shall be required when a development site is adjacent to a more restrictive zoning district. A minimum managed buffer of 25 feet or ten percent of the site width or depth, measured

from the adjacent more restrictive zoning district, whichever is greatest, shall be required to be preserved. A minimum of one tree per ten linear feet and understory screening vegetation or hedges (70 percent opaque and six feet in height) shall be required to be planted in adjacent-use buffers not already meeting this minimum standard for vegetation.

Staff Response: The Town Arborist will issue a Development Clearing Permit once the Planning and Zoning Commission approves the development and issues a notice to proceed under criterion (1).

The applicants have submitted the required landscape plan under criterion (3). The plan includes buffer areas, trees, and shrubs to be planted, as well as a detailed planting scheme featuring:

- 50 Class A Trees
- 45 Class B Trees
- 590 Shrubs and Plants
- 30,294+ Square Feet of Ground Cover

There is a 36-inch live oak that Dr. Malcolm Guidry, the Town Arborist, will inspect once underbrushing is completed. If the tree is found to be in poor health or at risk of failure, live oak planting may be required. Several suggestions have been made to the existing planting plan, and Dr. Guidry will review the revised plan before any planting proceeds.

Town Code Sec. 9-708 (d) outlines the development clearing permit application requirements.

Sec. 9-708. Procedure for tree removal, residential clearing and development clearing permits.

Prior to the issuance of a tree removal, residential clearing or development clearing permit, an application shall be required to be submitted for review by the tree inspector. A complete application for a tree removal, residential clearing or development clearing permit shall include the following items:

- (d) *Development clearing permit application requirements.* In addition to all the items listed in (a)(1) through (3) above, a plot plan, drawn to scale, which clearly identifies the following shall be required for consideration of an application for a development clearing permit:

- (1) Existing stands of trees on the parcel;
- (2) The specific location, size and species of specifically protected trees;
- (3) The location of trees or stands of trees proposed for preservation on the site and the intended method for marking preserved trees prior to land clearing should be identified on the application.
- (4) Location of critical root zones of specifically protected trees and all other trees required or proposed to be preserved.
- (5) Location of tree barriers to protect trees required or proposed to be protected during construction.
- (6) Erosion and Sediment Control Plan to control the runoff of sediment when soil will be disturbed.
- (7) Dimensions and locations of all existing and proposed improvements, such as buildings or structures, driveways, and paved walkways.
- (8) Location and dimensions of all required buffers.

Sec. 9-708 (g) provides an additional tree planting requirement.

- (g) *Related materials.* Any new residential or commercial construction is required to plant three Class A trees as defined in subsection 9-218.2(i)(6)(a) of the Abita Springs Code of Ordinances of at least six feet tall before final inspection of improvements and guarantee that they live one year. The tree shall have at least a one and one-half inch dbh.

Staff response: The applicants have submitted a tree removal plan that meets the requirements of Sec. 9-708 (d). Dr. Malcolm Guidry has reviewed the tree removal plan and has approved the plan subject to two requirements:

1. The Planning and Zoning Commission's approval to issue a development permit and notice to proceed.
2. The submission of a revised landscape plan showing changes noted on current plan.

The erosion and sediment control plan included as part of the tree removal plan and the drainage plan have been reviewed by the Town's engineers. The drainage consultant has approved the drainage plan with a few minor notes that will be addressed before the permit will be issued.

As shown in the applicants' landscape plan, many trees will be added to the property. This planting meets the requirement of Sec. 9-708 (g).

- 50 Class A Trees
- 45 Class B Trees

Summary:

The applicants have submitted the necessary information as required by Town Code Sections 9-707 and 9-708. The request meets all the requirements for the Development Clearing Permit.

Under Sec. 9-707, the Planning Commission is responsible for review and approval of the required landscape plan. The Town Arborist will be issuing the Development Clearing Permit once the Planning Commission approves the landscape plan and the development and issues a notice to proceed.

Attachments:

Development Clearing Permit Application	Page 7
Survey	Page 10
Driveway and Parking Diagram	Page 11
Erosion and Sediment Control Plan	Page 14
Tree Preservation Plan	Page 17
Tree Removal Plan	Page 18
Landscape Plan	Page 19
Floor Plan	Page 20
Elevations	Page 21



**Planning and Zoning Department
DEVELOPMENT CLEARING PERMIT**

Name: Alexandra Carr **Phone:** 337-235-8016


Email: alexandra@aqteam.com

Company: AQ Studios, LLC

Mailing Address: 115 E Main Street, Lafayette, LA 70501

Property Address: Harrison Avenue/Hwy. 59, Abita Springs, LA 70420

Property Description: Included in Cash Sale attached

Signature: 

Estimated starting date: March 2025 Estimated completion date: March 2026

PLEASE INCLUDE THE FOLLOWING DOCUMENTS:

- ☐ Copy of the deed to the property
- ☐ Required processing and inspection fees
- ☐ A plot plan, drawn to scale, which clearly identifies the following shall be required for consideration of an application for a development clearing permit:
 - ☐ Existing stands of trees on the parcel;
 - ☐ The specific location, size and species of specifically protected trees;
 - ☐ The location of trees or stands of trees proposed for preservation on the site and the intended method for marking preserved trees prior to land clearing should be identified on the application.
 - ☐ Location of critical root zones of specifically protected trees and all other trees required or proposed to be preserved.
 - ☐ Location of tree barriers to protect trees required or proposed to be protected during construction.
 - ☐ Erosion and Sediment Control Plan to control the runoff of sediment when soil will be disturbed.
 - ☐ Dimensions & locations of all existing & proposed improvements, such as buildings or structures, driveways, & paved walkways.
 - ☐ Location and dimensions of all required buffers.
 - ☐ Landscape plan Revised landscape plan being coordinated with Ochsner based on Arborist comments. Original plan included for reference.

ACKNOWLEDGEMENT STATEMENT

Sec. 9-707. - Requirements for issuance of residential clearing or development clearing permits.

(b) Development clearing permit requirements.

- (1) A **development permit** or preliminary subdivision approval by the planning commission and notice to proceed shall be required to be issued in conjunction with the issuance of a development clearing permit for the same site, prior to the commencement of any tree clearing or removal.
- (2) There shall be no development clearing in conjunction with the development of new subdivisions or roadways, except as necessary for the installation of new roadways or other infrastructure improvements approved by the planning commission, subsequent to the recommendation of the landscape commission as provided by the urban forestry Ordinance No. 184, Section 7.C.3.

**TOWN OF ABITA SPRINGS PLANNING AND ZONING DEPARTMENT
DEVELOPMENT CLEARING PERMIT**

- (3) **A landscape plan** shall be required to be submitted and approved by the planning commission for all multifamily and nonresidential developments, prior to the issuance of a development clearing permit.
- (4) **Buffer requirements** in conjunction with the issuance of a development clearing permit: The following requirements are mandatory. All buffers required shall be exclusive of all easements, servitudes and/or rights-of-way within the property.
- a. **Roadway buffer.** A managed buffer of at least 25 feet in width along improved roadways and dedicated street rights-of-way shall be preserved in accordance with an approved landscape plan. Access through the buffer shall be limited to one two-way or two one-way drives per 200 feet of street frontage, in accordance with section 8.A. of urban forestry Ordinance No. 184.
 - b. **Waterway buffer.** A minimum uncut vegetation buffer of at least 50 feet in depth from the centerline of the stream channel along both banks of all established natural stream beds, riverbanks and improved drainage canals shall be preserved uncut.
 - c. **Adjacent-use buffer.** A managed buffer shall be required when a development site is adjacent to a more restrictive zoning district. A minimum managed buffer of 25' or 10% of the site width or depth, measured from the adjacent more restrictive zoning district, whichever is greatest, shall be required to be preserved. A minimum of one tree per ten linear feet and understory screening vegetation or hedges (70 percent opaque and six feet in height) shall be required to be planted in adjacent-use buffers not already meeting this minimum standard for vegetation.

Sec. 9-708. - Procedure for tree removal, residential clearing and development clearing permits.

- (3) ***Development clearing permit inspections for multifamily residential, nonresidential, infrastructure improvements or other development applications.***

First inspection. After marking all trees to be removed and preserved and erecting tree protection barriers around trees to be preserved and the erosion control methods proposed, the applicant shall request an inspection and the tree inspector shall inspect the site to determine that the proposed work is in accordance with the development clearing permit application and the provisions of this chapter, prior to the issuance of the development clearing permit.

Second inspection. After pavement forms are in place but prior to the pouring of concrete for roadways, driveways, sidewalks, parking or loading areas, the applicant shall request a second inspection and an inspection shall be made by the tree inspector to determine that forms have been placed in accordance with the development clearing permit plans.

Final inspection. Upon completion of all work and cleanup of the site, the applicant shall request a final inspection of the site by the tree inspector. The tree inspector shall perform the final inspection and determine that the conditions of the development clearing permit have been adhered to prior to issuing a certificate of occupancy or authorizing permanent utility hookups for the site.

I have reviewed the above excerpts from the Town of Abita Springs' Ordinance and understand my responsibility.

Name: Alexandra Carr **Date:** 2025-02-12

FEES: Applicant will pay actual cost of professional review services.

**TOWN OF ABITA SPRINGS PLANNING AND ZONING DEPARTMENT
DEVELOPMENT CLEARING PERMIT**

Describe the request, if necessary, include any maps or plot plans: Please include a written description of the businesses to be located on the property. Also including a site plan for the property showing any existing or proposed buildings, driveway access, and the size and location of parking and storage areas.

This project is a new Ochsner Health outpatient clinic. The clinic includes pediatrics, behavioral health, blood draw lab, and primary care services. The building also includes administrative offices and staff support areas.

Scheduled Planning & Zoning Meeting Date & Time: 01/30/2025 and 02/27/2025

Location: Town of Abita Springs Town Hall

-----Office Use Only -----

DEVELOPMENT CLEARING PERMIT

Notes from Planning & Zoning:

Decision: ☐ APPROVED ☐ DENIED

Motion: _____ **Second:** _____

Vote: _____ **Signature:** _____

Planning & Zoning Chairman

LANDSCAPE PLAN

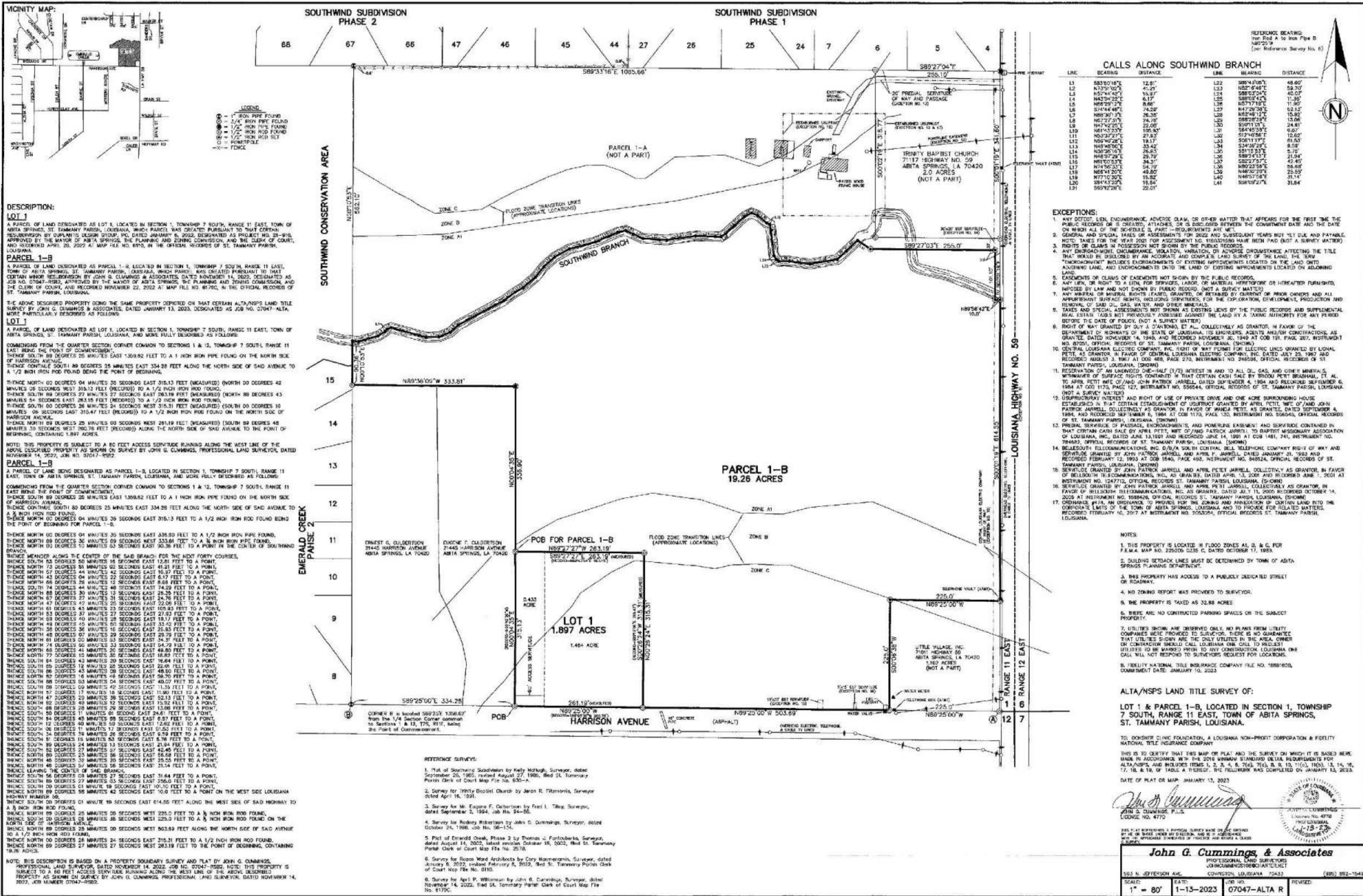
Notes from Planning & Zoning:

Decision: ☐ APPROVED ☐ DENIED

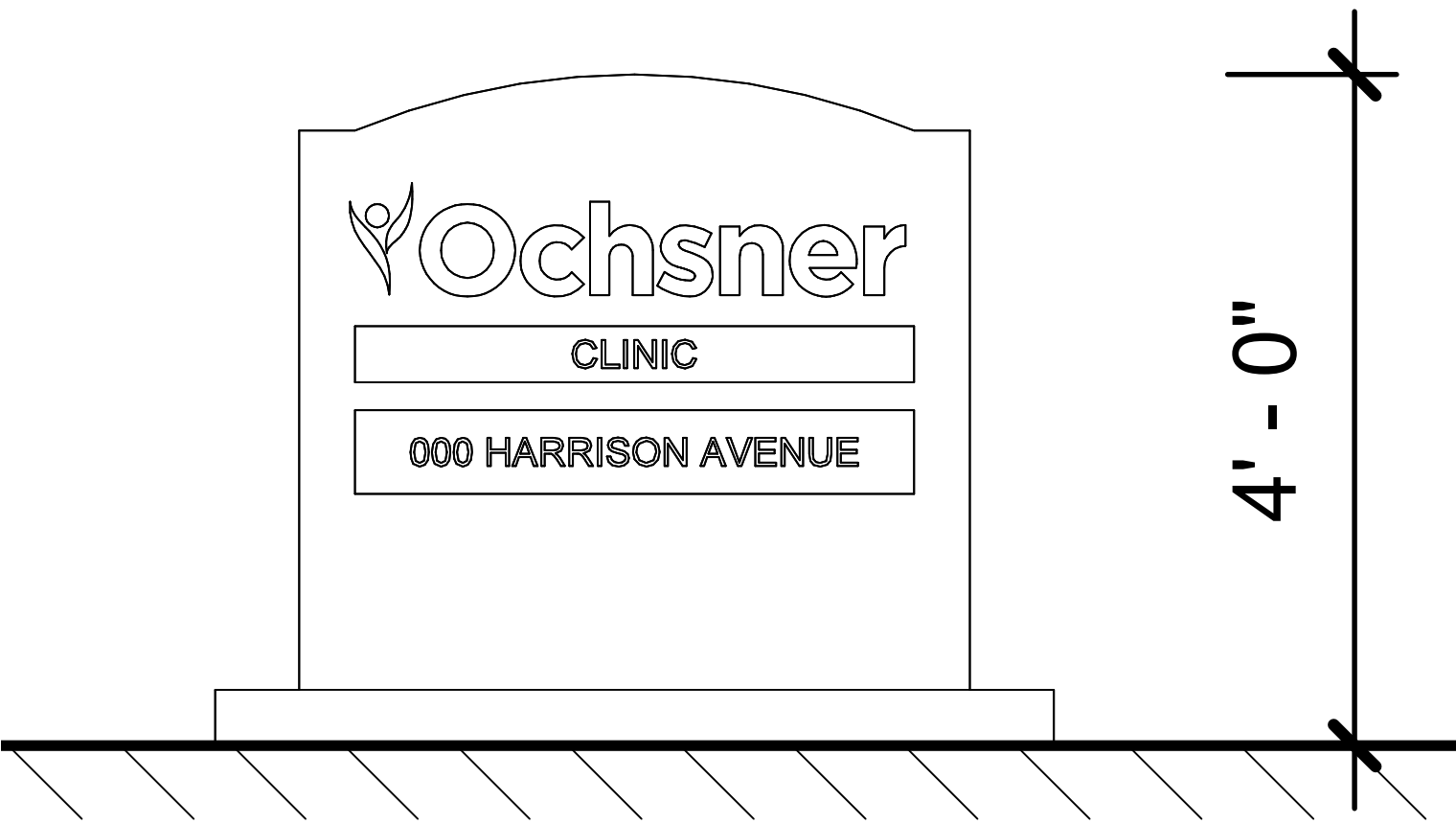
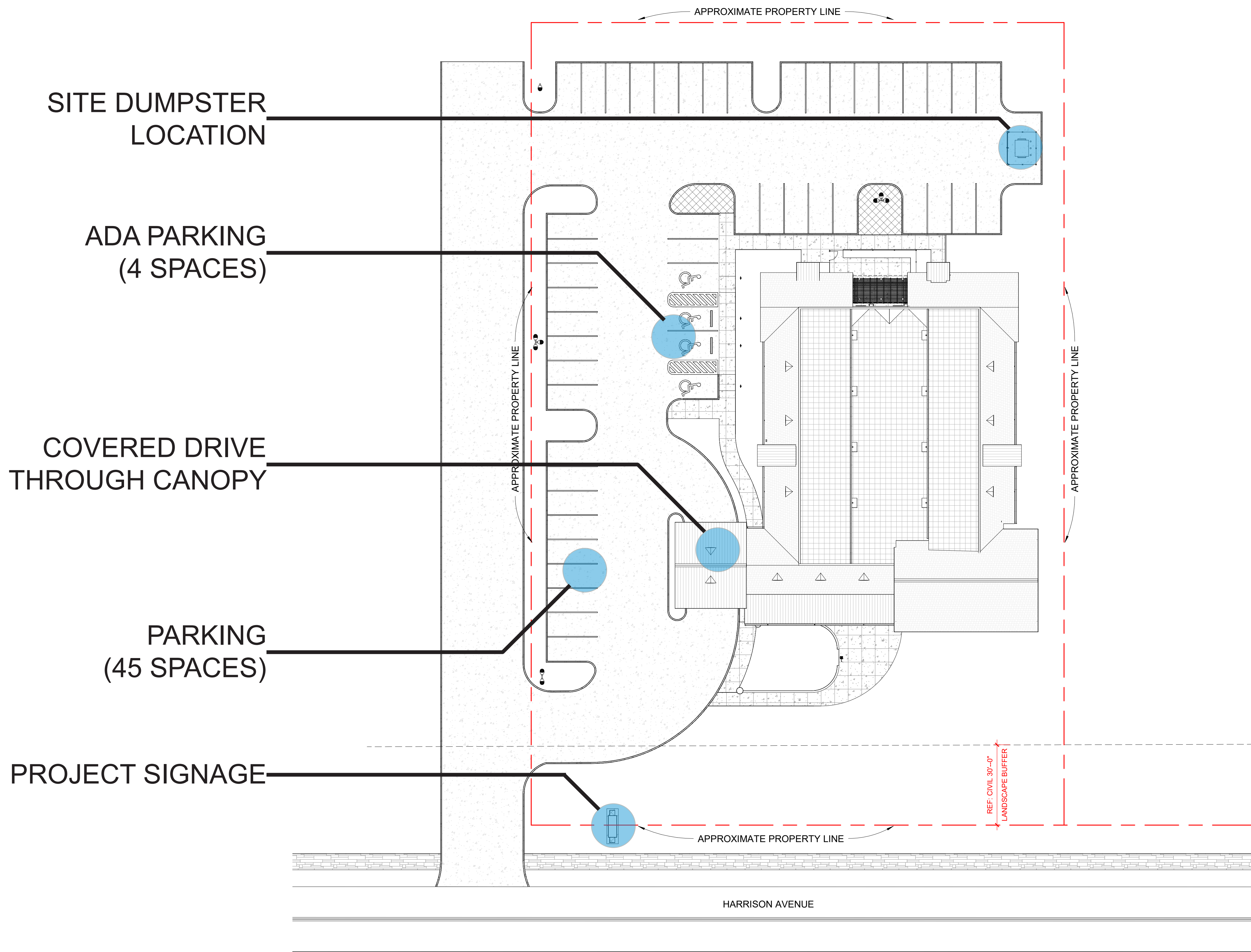
Motion: _____ **Second:** _____

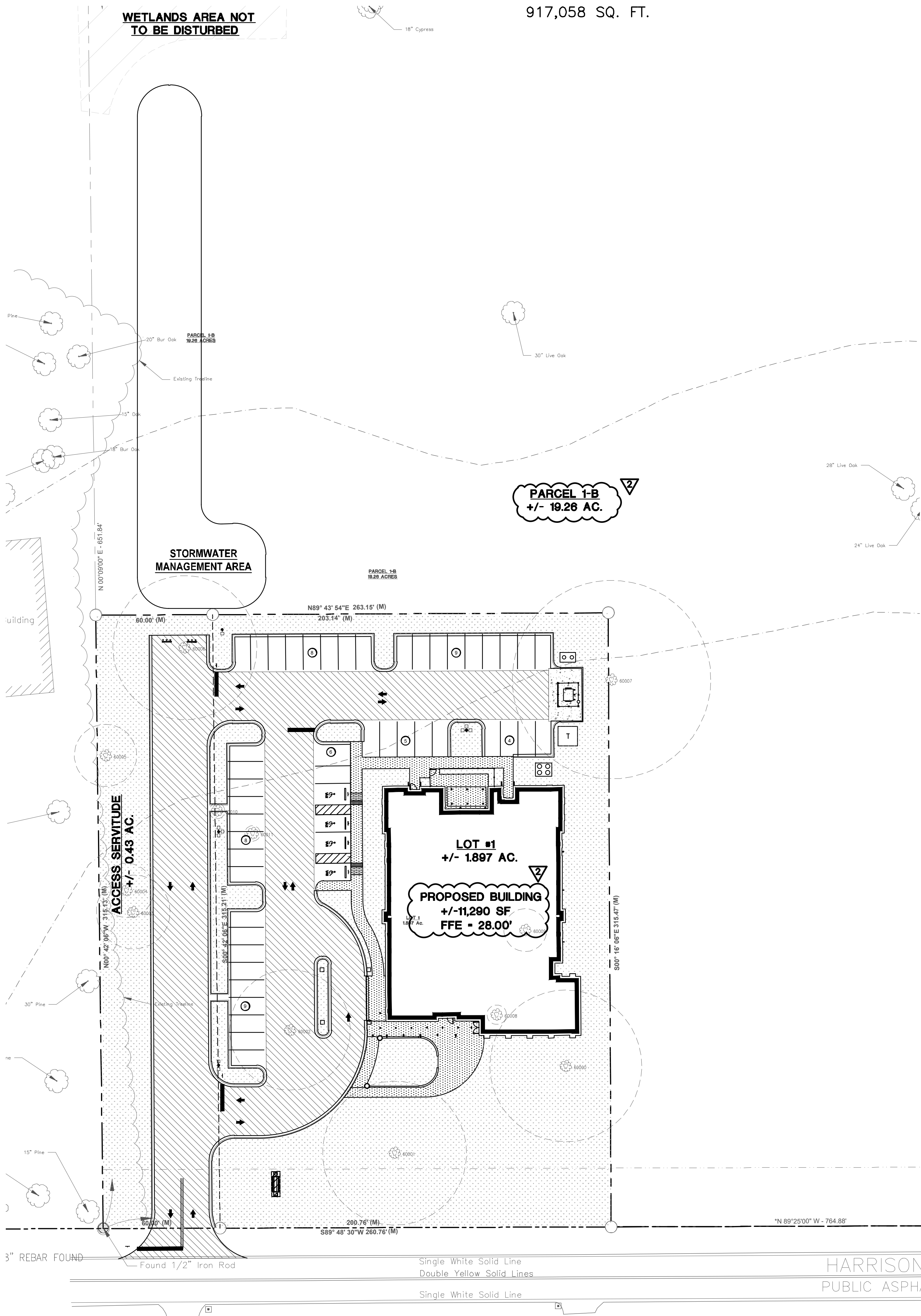
Vote: _____ **Signature:** _____

Planning & Zoning Chairman



SITE PLAN





LEGEND - EXISTING

FOUND PROPERTY CORNER (AS NOTED)	○	EXISTING GAS METER	GM □	EXISTING GRAVITY SEWER LINE	—S—
SET 3/4" IRON ROD (AS NOTED)	●	EXISTING GAS VALVE	⊕GV	EXISTING SEWER FORCE MAIN	—SFM—
FOUND/SET PK NAIL (AS NOTED)	△	EXISTING GAS LINE	—G—	EXISTING DRAINAGE MANHOLE	⊙
FOUND RIGHT OF WAY MARKER (AS NOTED)	▣	EXISTING PIPELINE	—//—	EXISTING SUBSURFACE DRAINAGE	=====
EXISTING POWER POLE	⊗	EXISTING BARN WIRE FENCE LINE	—X—	EXISTING DRAINAGE DROP INLET	⊠
EXISTING POWER POLE WITH LIGHT	⊗⊕	EXISTING CHAIN LINK FENCE LINE	—○—	EXISTING DRAINAGE CATCH BASIN	⊠
EXISTING PARKING LOT LIGHT	⊕	EXISTING WOOD FENCE LINE	—□—	EXISTING FIRE HYDRANT	⊕
EXISTING GUY ANCHOR	→	EXISTING BARRIER POST	●	EXISTING WATER METER	WM ○
EXISTING ELECTRIC PEDESTAL	⊠	ELEVATION OF TOP OF STRUCTURE	TOP = 18.00	EXISTING WATER VALVE	⊕WV
EXISTING OVERHEAD POWER LINE	—OE—	ELEVATION OF BOTTOM OF STRUCTURE	INW. = 15.00	EXISTING WATER LINE	—W—
EXISTING UNDERGROUND POWER LINE	—UL—	EXISTING SPOT ELEVATION	X 10.63	EXISTING TERRA-COTTA PIPE	8" TC
EXISTING TELEPHONE PEDESTAL	⊠	ELEVATION OF TOP OF CURB	18.50 TC	EXISTING REINFORCED CONCRETE PIPE	18" RCP
EXISTING TELEPHONE MANHOLE	⊙	ELEVATION OF FACE OF CURB	18.00 TC	EXISTING CORRUGATED METAL PIPE	24" CMP
EXISTING TELEPHONE LINE	—T—	EXISTING GROUND CONTOUR LINE	---S---	EXISTING POLYVINYL CHLORIDE PIPE	12" PVC
EXISTING CABLE TV PEDESTAL	⊠	EXISTING SEWER MANHOLE	⊕	EXISTING HIGH DENSITY POLYETHYLENE PIPE	12" HDPE
EXISTING CABLE TV LINE	—C—	EXISTING SEWER CLEANOUT	⊕	EXISTING MAILBOX	⊠

LEGEND - NEW IMPROVEMENTS

SIDEWALK	[Pattern]	BUILDING	[Symbol]
HEAVY DUTY CONCRETE PAVEMENT	[Pattern]	CURB & GUTTER	[Symbol]
STANDARD DUTY ASPHALT PAVEMENT	[Pattern]	PARKING SPACES	[Symbol]
GRASS/LANDSCAPE AREA	[Pattern]	SITE LIGHTING POLES	[Symbol]
HEAVY DUTY ASPHALT	[Pattern]	ADA RAMPS	[Symbol]
		DIRECTIONAL ARROWS	[Symbol]
		TYPE III BARRICADE	[Symbol]

SITE LAYOUT NOTES:

- SITE AREA = +/- 1.897 ACRES.
- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 4 FEET UNLESS NOTED OTHERWISE.

LEGEND - STRIPING

SWSL4" - SINGLE WHITE SOLID LINE / 4" WIDE
DYSL4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
BSL4" - SINGLE BLUE SOLID LINE / 4" WIDE
WSL12" - SINGLE WHITE SOLID LINE / 12" WIDE

SITE PLAN NOTES:

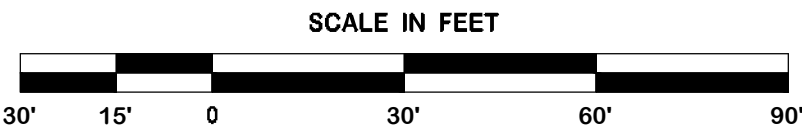
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS & DIMENSIONS OF BUILDING, ARCHITECTURE, SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, & EXACT BUILDING UTILITY SERVICE ENTRANCE LOCATIONS AT THE BUILDING.
- ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOD, & WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AS INDICATED ON THE LANDSCAPING PLAN.
- PROPERTY & TOPOGRAPHIC SURVEY WAS PREPARED ON 10-10-2016 BY ACADIA LAND SURVEYING AND AND TREE SURVEY WAS PREPARED ON 2-8-2022 BY DUPLANTIS DESIGN GROUP, PC.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE POWER & TELEPHONE COMPANIES FOR LOCATION & HEIGHT OF MONUMENT SIGN BEFORE CONDUIT & WIRING IS INSTALLED TO ENSURE PROPER CLEARANCES ARE MET.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL EXISTING UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED FOR WIDENING OF ALL ROADWAYS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS & SHALL BE APPROVED BY SUCH.
- PRIOR TO THE START OF CONSTRUCTION ACTIVITIES THE CONTRACTOR MUST CALL 811 AND THE LOCAL UTILITY PROVIDERS TO HAVE ALL UTILITIES MARKED WITHIN THE PROJECT AREA. AFTER UTILITIES ARE MARKED, THE CONTRACTOR SHALL PERFORM A PLAN IN HAND WALK THRU OF THE ENTIRE PROJECT AREA AND SHALL CONTACT THE CIVIL ENGINEER IMMEDIATELY IF THERE ARE ANY DEVIATIONS IN THE LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLANS AND/OR THE PRESENCE OF UTILITIES THAT ARE NOT SHOWN IN THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS & SPECIFICATIONS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, TELEPHONE & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS & ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION & TIE-INS/CONNECTIONS TO THEIR FACILITIES.
- ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS & SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY SOUTHERN EARTH SCIENCES REPORT NUMBER B-22-057, REV 2.
- ALL NECESSARY PERMITS & APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS AND ALL PROPERTY MARKERS. CONTRACTOR SHALL REPLACE ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, & ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, & THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE & ALIGNMENT.
- ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
- ALL STRIPING LOCATED ON SITE SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION UNLESS OTHERWISE NOTED. STRIPING IMPROVEMENTS LOCATED WITHIN THE ROAD RIGHT OF WAY SHALL COMPLY WITH THE REQUIREMENTS OF THE JURISDICTION.
- ANY WORK IN THE RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH LA DEPARTMENT OF TRANSPORTATION & DEVELOPMENT'S STANDARD DRAWINGS & SPECIFICATIONS.
- CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH LA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- THE PROPERTIES SHOWN HEREIN LIE WITHIN ZONE B, C, AND A1, ACCORDING TO FLOOD AREAS OF INSURANCE RATE MAPS PUBLISHED BY F.E.M.A. COMMUNITY PANEL NO. 2252050235C DATED 10-17-1989. THE PRELIMINARY DFIRM WHICH IS NOT YET ADOPTED BY ST TAMMANY PARISH SHOWS THE SITE LIES WITHIN FLOOD ZONE X AND AE 24.

PROPERTY OWNER INFORMATION:

LOT 1 AND PARCEL 1-B
OCHSNER CLINIC FOUNDATION
1614 JEFFERSON HWY
METAIRIE, LA 70001



OVERALL SITE PLAN



AREA ANALYSIS

LOT 1	+/-1.897 ACRES
PARCEL 1-B	+/-19.26 ACRES
TOTAL	+/-21.157 ACRES

SITE ANALYSIS

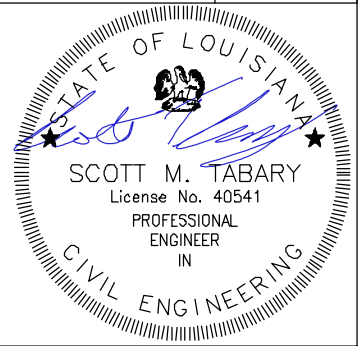
BUILDING	+/-11,290 S.F.
PARKING REQUIRED*	38 SPACES
PARKING PROVIDED	49 SPACES
RATIO	4.34 / 1000 S.F.

*PARKING REQUIREMENTS: 1 SPACE PER 300 S.F.



Construction Documents

No.	Description	Date
2	PERMIT REVISIONS	2025-02-10



Ochsner Health
Abita Springs Clinic

Abita Springs, Louisiana

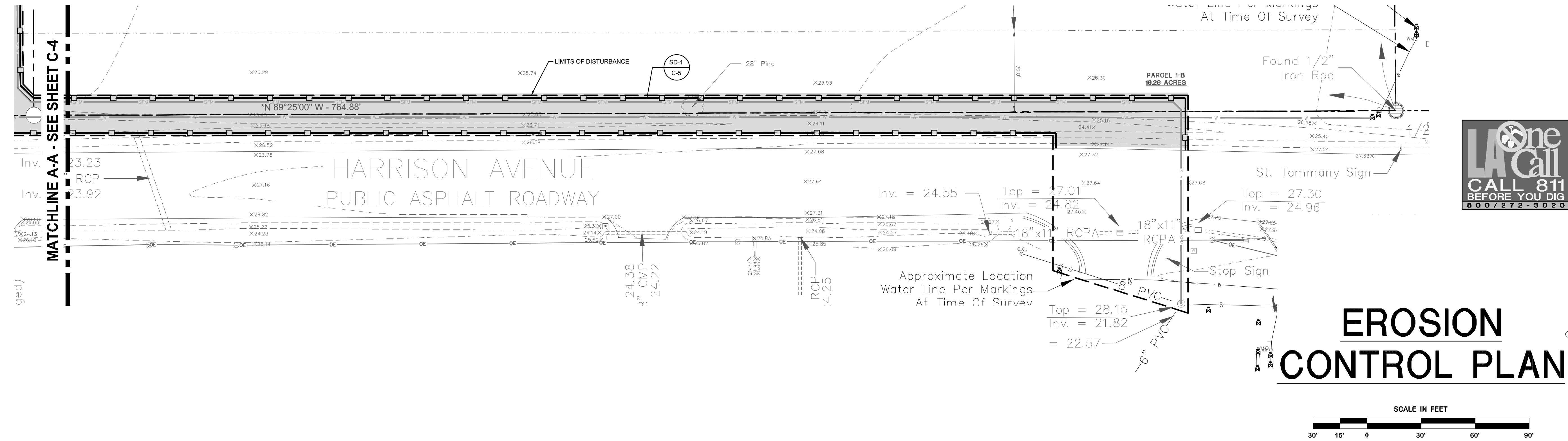
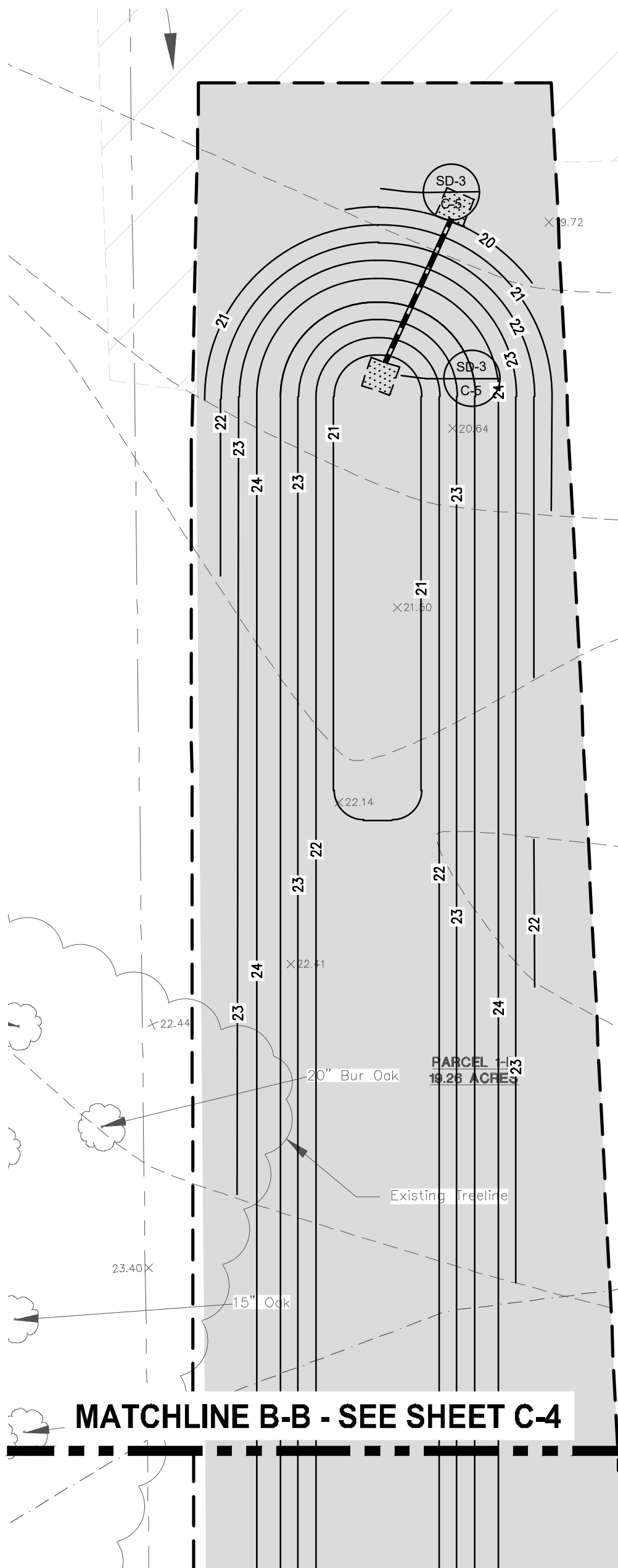
Sheet Name
OVERALL SITE PLAN

Copyright 2024 AQ Studios

AQ Studios Project number	2000.01
Date	2024-08-16
Drawn by	DTS
Checked by	AER

C-1.0

Scale AS INDICATED



EROSION CONTROL NOTES:

1. SEDIMENT & EROSION CONTROL FACILITIES & STORM DRAINAGE FACILITIES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT.
3. ADDITIONAL DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES.
4. SILT FENCES SHALL BE CLEANED OR REPLACED WHEN SILT BUILDS UP TO 1' FROM THE BOTTOM OF THE FENCE.
5. EROSION CONTROL MEASURES ARE TO BE INSPECTED WEEKLY & AFTER EACH RAINFALL & REPAIRED AS NECESSARY.
6. ALL GRADED AREAS SHALL BE STABILIZED WITH A PERMANENT FAST GROWING COVER &/OR MULCH UPON COMPLETION OF GRADING OPERATIONS. COMPLETION OF GRADING OPERATIONS DOES NOT MEAN AT THE END OF THE PROJECT. AS SOON AS FINAL GRADES ARE ESTABLISHED IN AN UNPAVED AREA, THE CONTRACTOR SHALL STABILIZE WITH A TEMPORARY GRASS OR PERMANENT SOD. IF A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A PERMANENT SEED OR SOD AT THE PROPER TIME OF YEAR.
7. FILL SLOPES SHOULD BE PLANTED AS SOON AS AN AREA OF THE SITE IS BROUGHT TO FINAL GRADE. SURFACE RUNOFF SHALL BE INTERCEPTED AT THE TOP OF TEMPORARY & PERMANENT SLOPES DURING CONSTRUCTION SO THAT WATER IS NOT ALLOWED TO FLOW OVER THE SLOPE FACE.
8. THE GENERAL CONTRACTOR & THE GRADING CONTRACTOR SHALL REVIEW THEIR GRADING SEQUENCE TO INSURE THAT THE LEAST AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS DISTURBED WITHOUT PERMANENT STABILIZATION.
9. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO ANY EARTHWORK OPERATIONS.
10. CONTRACTOR SHALL MAINTAIN SILT FENCES FOR THE DURATION OF THE PROJECT UNTIL ACCEPTED BY THE OWNER AT NO EXPENSE TO OWNER.
11. CONTRACTOR SHALL INSPECT ON A DAILY BASIS FOR NEEDED REMOVAL OF ANY ACCUMULATED SILTS, DEBRIS, OR REPAIR OF DAMAGED SILT FENCE AT NO ADDITIONAL EXPENSE TO OWNER.
12. PRIOR TO CONSTRUCTION, THE EROSION & SEDIMENT CONTROL MEASURES SHOWN HEREON SHALL BE IN PLACE. CLEARING & GRUBBING OPERATIONS WILL BE ENGAGED IN ONLY AS NECESSARY TO ALLOW THE PLACEMENT OF EROSION & SEDIMENT CONTROL MEASURES AS SHOWN HEREON UNTIL ALL SUCH MEASURES ARE IN PLACE.
13. LAND DISTURBING ACTIVITIES WILL BE KEPT TO A MINIMUM & WILL NOT EXTEND BEYOND THE LIMITS SHOWN.
14. SEDIMENT & EROSION CONTROL MEASURES WILL BE INSPECTED ON A DAILY BASIS & WILL BE REPAIRED, ADJUSTED & MAINTAINED AS NEEDED OR REQUIRED BY GOVERNING AGENCIES AT NO ADDITIONAL EXPENSE TO THE OWNER TO PROVIDE EROSION & SEDIMENT CONTROL FOR THE DURATION OF CONSTRUCTION & UNTIL ALL DISTURBED AREAS ARE STABILIZED.
15. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING THE "PRIME CONTRACTOR CERTIFICATION" & "THE MONTHLY INSPECTION REPORT & CERTIFICATION FORM FOR EROSION & SEDIMENT CONTROLS" LOCATED IN THE SITEWORK SPECIFICATIONS & SUBMITTING THE FORMS TO THE OFFICE OF POLLUTION CONTROL.
16. THE CONTRACTOR SHALL ALSO CONSTRUCT THE SILT FENCING AS SHOWN AT THE PERIMETER OF THE SITE PLAN PRIOR TO LAND CLEARING ACTIVITIES.
17. ALL EROSION CONTROL MEASURES EXCEPT THE REQUIRED RIP RAP ARE TEMPORARY DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL GRASSED AREAS ARE COMPLETE.

BMP MAINTENANCE EROSION NOTES:

ALL MEASURES STATED ON THIS SITE MAP, & IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, & REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES & BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, & RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING & STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING & STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONAL AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
7. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS &/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

LEGEND - EXISTING

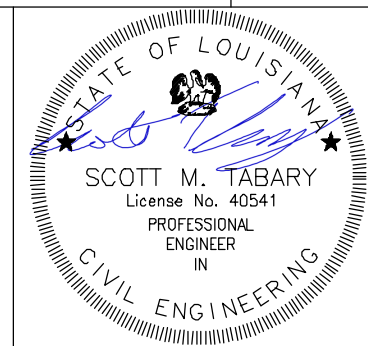
FOUND PROPERTY CORNER (AS NOTED)	○	EXISTING GAS METER	GM □	EXISTING GRAVITY SEWER LINE	—S—
SET 3/4" IRON ROD (AS NOTED)	●	EXISTING GAS VALVE	GV	EXISTING SEWER FORCE MAIN	—SFM—
FOUND/SET PK NAIL (AS NOTED)	△	EXISTING GAS LINE	—G—	EXISTING DRAINAGE MANHOLE	⊕
FOUND RIGHT OF WAY MARKER (AS NOTED)	■	EXISTING PIPELINE	—//—	EXISTING SUBSURFACE DRAINAGE	=====
EXISTING POWER POLE	⚡	EXISTING BARB WIRE FENCE LINE	—X—	EXISTING DRAINAGE DROP INLET	■
EXISTING POWER POLE WITH LIGHT	⚡	EXISTING CHAIN LINK LINE	—○—	EXISTING DRAINAGE CATCH BASIN	⌂
EXISTING PARKING LOT LIGHT	⚡	EXISTING WOOD FENCE LINE	—□—	EXISTING FIRE HYDRANT	⦿
EXISTING GUY ANCHOR	→	EXISTING BARRIER POST	●	EXISTING WATER METER	WM ○
EXISTING ELECTRIC PEDESTAL	Ⓜ	ELEVATION OF TOP OF STRUCTURE	TOP = 18.00	EXISTING WATER VALVE	WV
EXISTING OVERHEAD POWER LINE	—OE—	ELEVATION OF BOTTOM OF STRUCTURE	INV. = 15.00	EXISTING WATER LINE	—W—
EXISTING UNDERGROUND POWER LINE	—UE—	EXISTING SPOT ELEVATION	X 10.63	EXISTING TERRA-COTTA PIPE	8" TC
EXISTING TELEPHONE PEDESTAL	Ⓜ	ELEVATION OF TOP OF CURB	18.50 TC	EXISTING REINFORCED CONCRETE PIPE	18" RCP
EXISTING TELEPHONE MANHOLE	Ⓜ	ELEVATION OF FACE OF CURB	18.00 FC	EXISTING CORRUGATED METAL PIPE	24" CMP
EXISTING TELEPHONE LINE	—T—	EXISTING GROUND CONTOUR LINE	---S---	EXISTING POLYVINYL CHLORIDE PIPE	12" PVC
EXISTING CABLE TV PEDESTAL	Ⓜ	EXISTING SEWER MANHOLE	Ⓜ	EXISTING HIGH DENSITY POLYETHYLENE PIPE	12" HDPE
EXISTING CABLE TV LINE	—C—	EXISTING SEWER CLEANOUT	C.O.	EXISTING MAILBOX	Ⓜ

LEGEND - NEW IMPROVEMENTS

SD-1	SILT FENCE	—S—	DIRECTION OF OVERLAND FLOW
SD-2	TEMPORARY STONE CONSTRUCTION EXIT	—17--	PROPOSED CONTOUR
SD-3	TEMPORARY RIP-RAP	---	PROPERTY LINE
SD-4	PIPE PROTECTION	---	LIMITS OF DISTURBANCE
SD-5	INLET PROTECTION	---	PROPOSED BUILDING
		---	PROPOSED STORM DRAINAGE
			TEMPORARY SEEDING (HYDROMULCH) (SLOPES 3:1 OR GREATER SHALL BE SODDED)
			SD-0 REFERENCES LEGEND
			C-5 REFERENCES SHEET FOR DETAIL

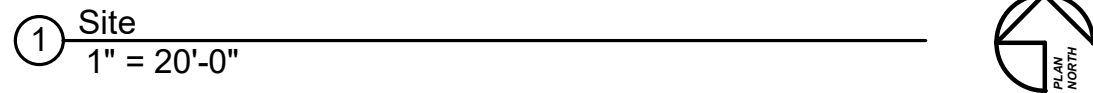
Construction Documents

No.	Description	Date
2	PERMIT REVISIONS	2025-02-10



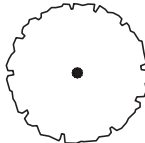
Ochsner Health
Abita Springs Clinic

Abita Springs, Louisiana	
Sheet Name EROSION CONTROL PLAN	
Copyright 2024 AQ Studios	
AQ Studios Project number	2000.01
Date	2024-08-16
Drawn by	DTS
Checked by	AER
C-4.1	
Scale	AS INDICATED



Tree Preservation Plan

Tree to remain:



Tree to be removed:



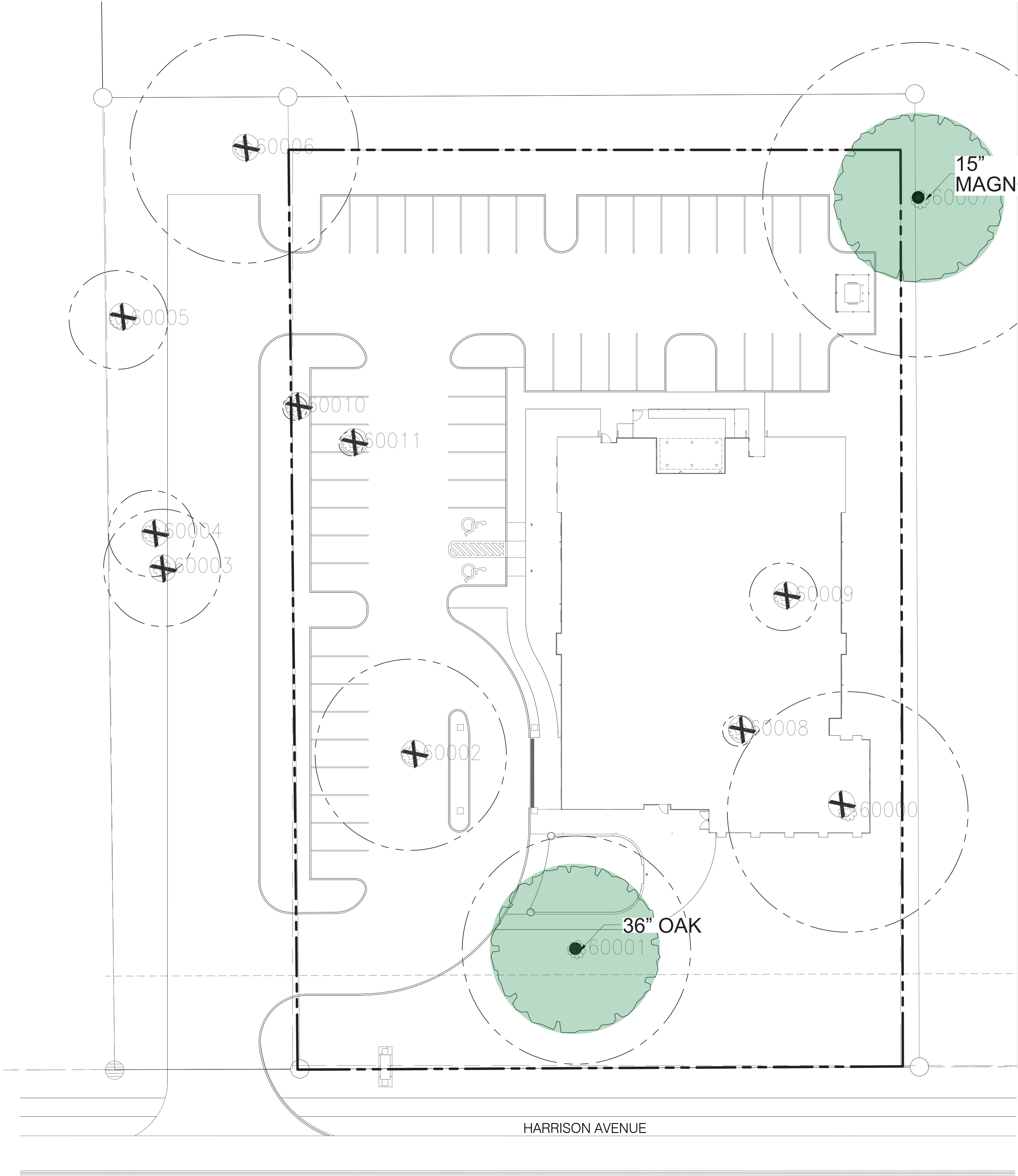
Tree Preservation Notes:
The project site is +/- 1.88 acres. Existing tree exchange rates: All trees greater than two and one-half (2.5) inches in diameter D.B.H. are located in the street planting and buffer areas and preserved as required of the St. Tammany Municipality Landscape Ordinance. Trees preserved in the parking area, shall be credited towards the satisfaction of the minimum landscape.

ST. TAMMANY PARISH TREE CREDIT TABLE			
Harrison Avenue	North Buffer	West Buffer	East Buffer
36" Live Oak	-	-	-

ST. TAMMANY PARISH TREE PRESERVATION CREDIT TABLE - HARRISON AVENUE PERIMETER BUFFER			
DBH Caliper of Preserved Tree	Credits Toward Required Trees	Quantity	Sub-Total
2.5" - 4"	1	0	0
5" - 8"	2	0	0
9" - 18"	3	0	0
19" - 24"	4	0	0
25" - 30"	5	0	0
31" - Greater	6	1	6
Total Tree Credits:			6

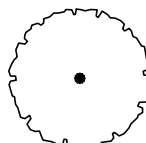
ST. TAMMANY PARISH TREE PRESERVATION CREDIT TABLE - WEST BUFFER			
DBH Caliper of Preserved Tree	Credits Toward Required Trees	Quantity	Sub-Total
2.5" - 4"	1	0	0
5" - 8"	2	0	0
9" - 18"	3	0	0
19" - 24"	4	0	0
25" - 30"	5	0	0
31" - Greater	6	0	0
Total Tree Credits:			0

ST. TAMMANY PARISH TREE PRESERVATION CREDIT TABLE - EAST BUFFER			
DBH Caliper of Preserved Tree	Credits Toward Required Trees	Quantity	Sub-Total
2.5" - 4"	1	0	0
5" - 8"	2	0	0
9" - 18"	3	1	3
19" - 24"	4	0	0
25" - 30"	5	0	0
31" - Greater	6	0	0
Total Tree Credits:			3



TREE PRESERVATION PLAN:

TREE TO REMAIN:



TREE TO BE REMOVED:



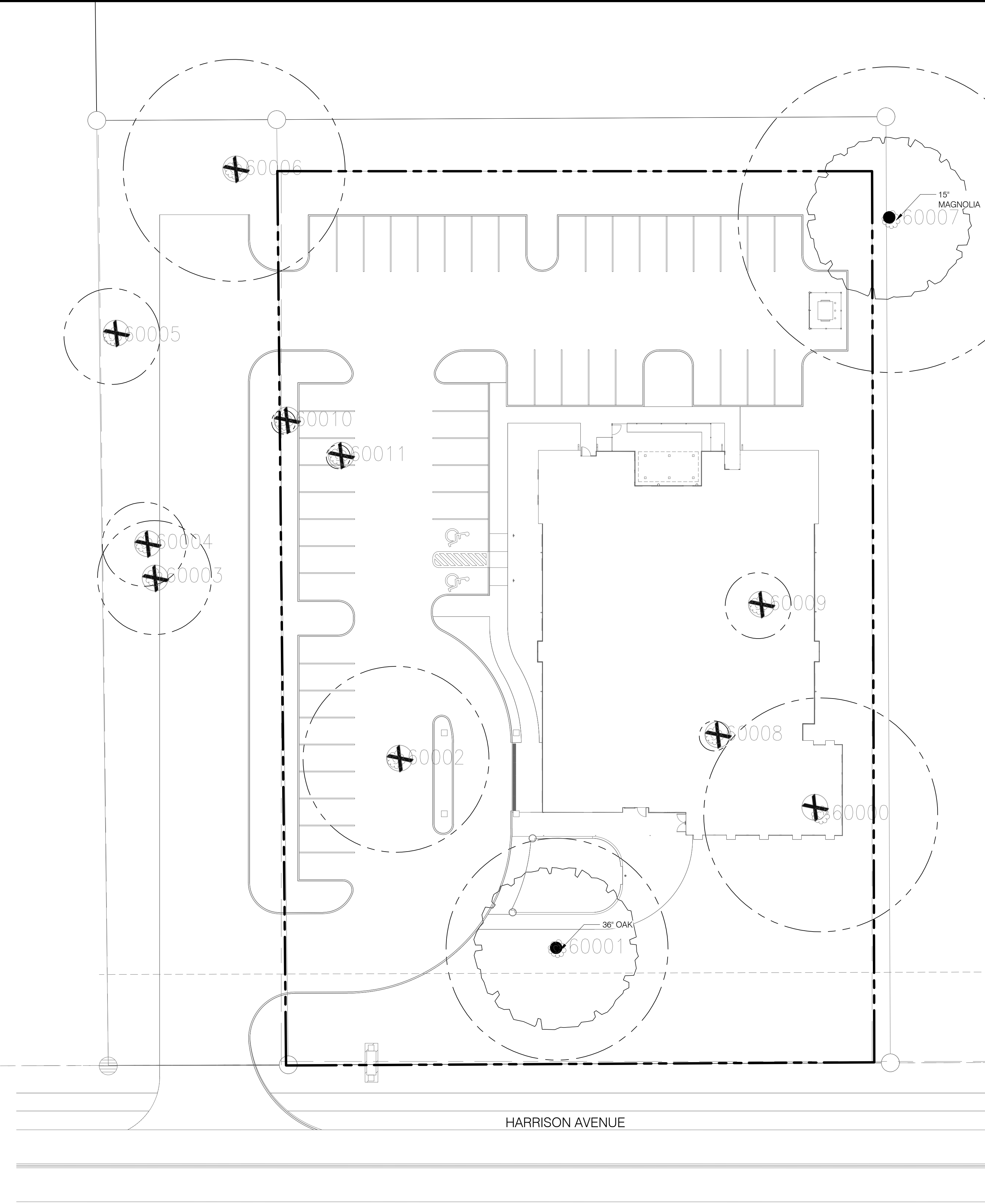
TREE PRESERVATION NOTES:
THE PROJECT SITE IS +/- 1.88 ACRES. EXISTING TREE EXCHANGE RATES: ALL TREES GREATER THAN TWO AND ONE-HALF (2.5) INCHES IN DIAMETER D.B.H. ARE LOCATED IN THE STREET PLANTING AND BUFFER AREAS AND PRESERVED AS REQUIRED OF THE ST. TAMMANY MUNICIPALITY LANDSCAPE ORDINANCE. TREES PRESERVED IN THE PARKING AREA, SHALL BE CREDITED TOWARDS THE SATISFACTION OF THE MINIMUM LANDSCAPE.

ST. TAMMANY PARISH TREE CREDIT TABLE			
Harrison Avenue	North Buffer	West Buffer	East Buffer
36" Live Oak	-	-	-

ST. TAMMANY PARISH TREE PRESERVATION CREDIT TABLE - HARRISON AVENUE PERIMETER BUFFER			
DBH Caliper of Preserved Tree	Credits Toward Required Trees	Quantity	Sub-Total
2.5" - 4"	1	0	0
5" - 8"	2	0	0
9" - 18"	3	0	0
19" - 24"	4	0	0
25" - 30"	5	0	0
31" - Greater	6	1	6
		Total Tree Credits:	6

ST. TAMMANY PARISH TREE PRESERVATION CREDIT TABLE - WEST BUFFER			
DBH Caliper of Preserved Tree	Credits Toward Required Trees	Quantity	Sub-Total
2.5" - 4"	1	0	0
5" - 8"	2	0	0
9" - 18"	3	0	0
19" - 24"	4	0	0
25" - 30"	5	0	0
31" - Greater	6	0	0
		Total Tree Credits:	0

ST. TAMMANY PARISH TREE PRESERVATION CREDIT TABLE - EAST BUFFER			
DBH Caliper of Preserved Tree	Credits Toward Required Trees	Quantity	Sub-Total
2.5" - 4"	1	0	0
5" - 8"	2	0	0
9" - 18"	3	1	3
19" - 24"	4	0	0
25" - 30"	5	0	0
31" - Greater	6	0	0
		Total Tree Credits:	3



38001 BROWNSVILLE ROAD
SLIDELL, LOUISIANA 70460
PH. 985-643-2427
FAX 985-643-2691
www.ROTULOEROTULOCONSULTANTS.com

ABITA SPRINGS OCHSNER CLINIC
ABITA SPRINGS, LA, 70420

LANDSCAPE PERMIT PLAN

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Contact: Gene Peters, PLA 985.643.2427

Project No:

Revisions:		
No:	Date:	Description:
001	05.06.22	UPDATED TREE SURVEY
002	05.20.22	UPDATED TREE REMOVAL

Date: 03.16.22
Drawn: M.O.
Checked: G.P.
Sheet Title:

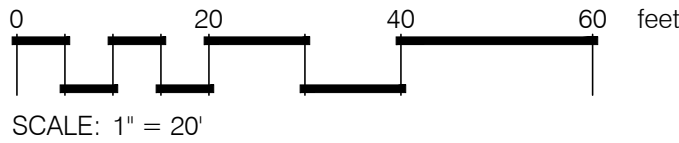
TREE
PRESERVATION
PLAN

Drawing No.


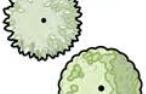




















LS-1
Sheet No.
Of:

FILE: -

XREFS: -



LANDSCAPE PLAN

PLANT SCHEDULE						
CLASS A TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE
	LT	13	Liriodendron tulipifera / Tulip Poplar	Container or B&B	2.5" CAL. MIN.	12' Ht. Min.
	MS	16	Magnolia virginiana / Sweetbay Magnolia 5 Trunks, Min.	Container or B&B	Multi-Trunk	12' Ht. Min.
	QL	6	Quercus lyrata / Overcup Oak	Container or B&B	2.5" CAL. MIN.	12' Ht. Min.
	QS	3	Quercus shumardi / Shumard Oak	Container or B&B	2.5" CAL. MIN.	12' Ht. Min.
	TA	12	Taxodium ascendens / Pond Cypress	Container or B&B	2.5" CAL. MIN.	12' Ht. Min.
CLASS B TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE
	IV	6	Ilex vomitoria / Yaupon Holly	Container or B&B	1.5" CAL. MIN.	8' HT. MIN.
	IS	22	Ilex x attenuata 'Savannah' / Savannah Holly Full to Ground	Container or B&B	1.5" CAL. MIN.	8' HT. MIN.
	LM	17	Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle Standard	Container or B&B	1.5" CAL. MIN.	8' HT. MIN.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SIZE	
	AA	120	Agapanthus africanus / African Lily	3-Gal	Full Pot	18" o.c.
	AF	3	Azalea indica 'Formosa' / Formosa Indica Azalea	7-Gal	24"HT x 24"W	48" o.c.
	AM	72	Azalea indica 'Mrs. G.G. Gerbing' / Mrs. G.G. Gerbing Indica Azalea	7-Gal	24"HT x 24"W	48" o.c.
	AU	49	Azalea x 'Gumpo White' / Gumpo White Satsuki Azalea	3-Gal	12"HT x 12"W	36" o.c.
	CA	50	Callicarpa americana / American Beautyberry	7-Gal	24"HT x 24"W	36" o.c.
	CG	67	Camellia sasanqua 'Shishi Gashira' / Shishi Gashira Camellia	7-Gal	15"HT x 15"W	36" o.c.
	IX2	100	Iris x 'Louisiana' / Louisiana Iris	3-Gal	Full Pot	24" o.c.
	JP	12	Juniperus chinensis 'Parsoni' / Parsoni Juniper	3-Gal	10" HT X 24" HT	36" o.c.
	LS	16	Loropetalum chinense rubrum 'Shang-Hi' TM / Purple Diamond Fringe Flower	3-Gal	15"HT x 15"W	36" o.c.
	SM	47	Sabal minor / Dwarf Palmetto	7-Gal	24"HT x 24"W	48" o.c.
	TC	10	Trachelospermum jasminoides 'Confederate' / Confederate Jasmine	7-Gal	3-4' Ht.	36" o.c.
	VO	44	Viburnum odoratissimum / Sweet Viburnum	7-Gal	36" HT x 24" W	36" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER		
	CD	25,077 sf	Cynodon dactylon / Bermuda Grass	Sod		
	PN	5,217 sf	Pine Needle Mulch	Mulch		

ST.TAMMANY LANDSCAPE REQUIREMENT CHART					
Buffer Name	Length	Code Requirement	Required Trees	Tree Credit	Provided
Harrison Avenue	263.15	1 Class A & 1 Class B Tree / 30' & 1 Shrub / 10'	18 Class A / B & 27 Shrubs	6	18 Class A / 27 Shrubs
West	315.48	1 Class A & 1 Class B Tree / 30' & 1 Shrub / 10'	22 Class A / B & 32 Shrubs	0	12 Class A / 11 Class B / 40 Shrubs
East	315.48	1 Class A & 1 Class B Tree / 30' & 1 Shrub / 10'	19 Class A / B & 32 Shrubs	0	9 Class A / 10 Class B / 36 Shrubs
North	263.15	1 Class A & 1 Class B Tree / 30' & 1 Shrub / 10'	18 Class A / B & 27 Shrubs	0	13 Class A / 6 Class B / 35 Shrubs



TULIP TREE



SWEETBAY MAGNOLIA



OVERCUP OAK



SHUMARD OAK



POND CYPRESS



YAUPON



SAVANNAH HOLLY



'MUSKOGEE' CRAPE MYRTLE



AGAPANTHUS



'FORMOSA' AZALEA



'MRS. G.G. GERBING' AZALEA



'GUMPO WHITE' AZALEA



AMERICAN BEAUTYBERRY



'SHI SHI' CAMELLIA



LOUISIANA IRIS



'PARSONI' JUNIPER



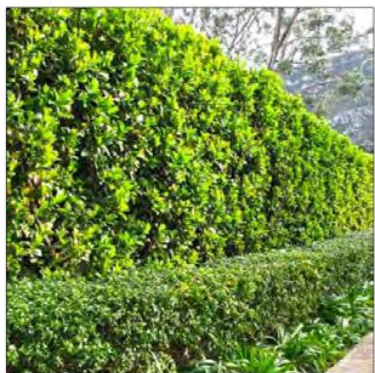
'PURPLE DIAMOND' LOROPETALUM



DWARF PALMETTO



CONFEDERATE JASMINE



SWEET VIBURNUM

Comments from Abita Springs Landscape Architect:

Since this is a commercial site, low maintenance tough plants and trees are needed.

Keep the design simple.

Tulip Poplar is the largest tree in N. America. It dies when the tap root hits the water table.

Savanna Holly can look yellow. Nellie R. Stevens Holly is darker green.

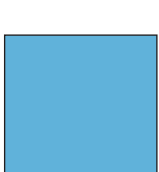
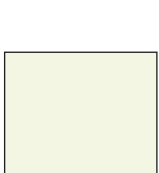
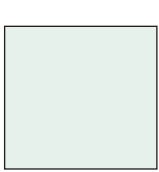
Need shade trees for cars in parking lot - Shumard Oak or Auee Elm

South and South West sides of buildings need tough full sun plans - azaleas like some shade.

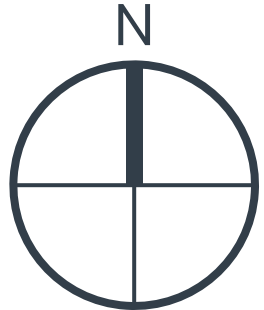
We like agapanthus but should be planted in mass, not as a border.



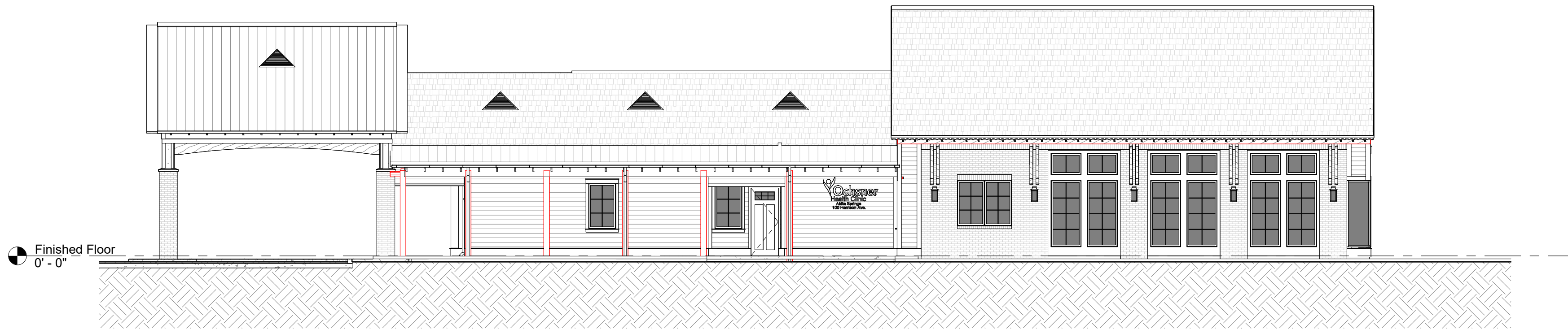
FLOOR PLAN

-  - BLOOD DRAW
-  - EXAM ROOM
-  - STAFF / BACK OF HOUSE

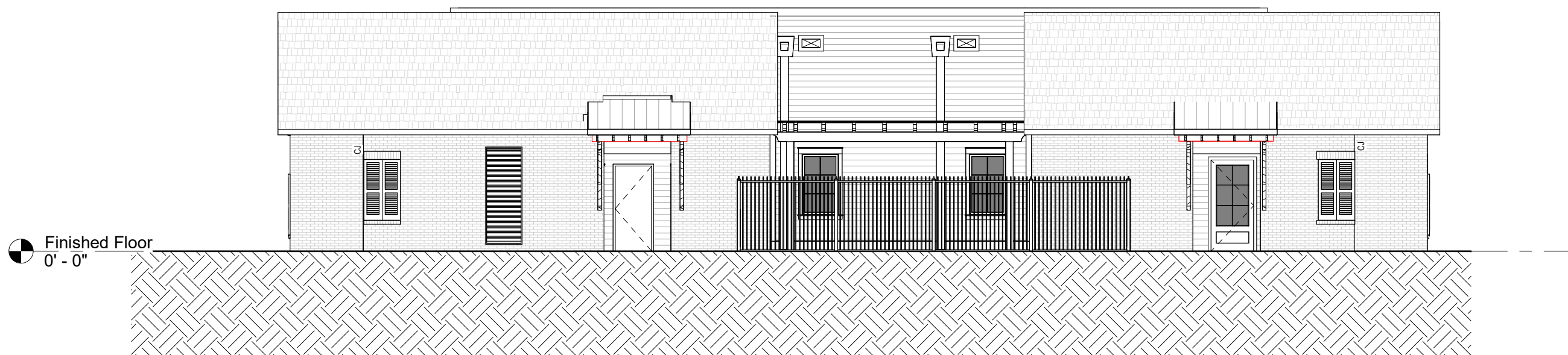
ROOM COUNTS:
EXAM ROOMS - 21
BLOOD DRAWS - 2



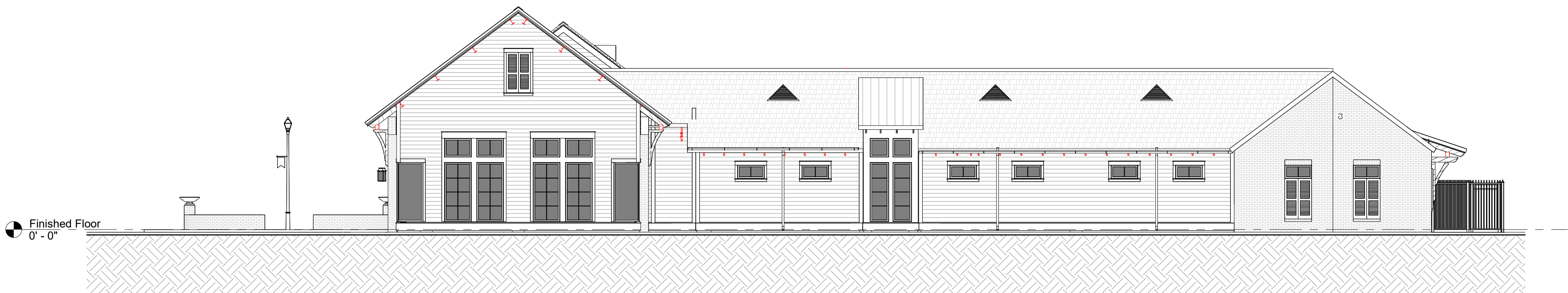
ELEVATIONS



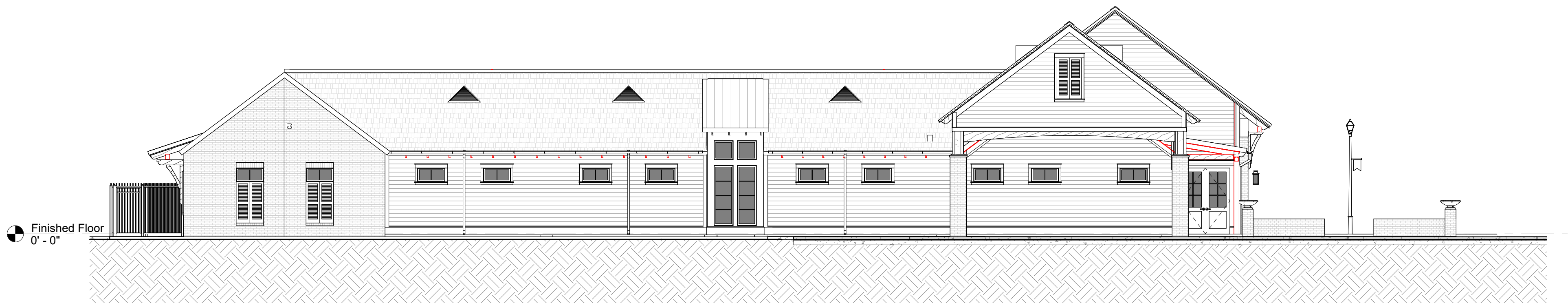
FRONT ELEVATION



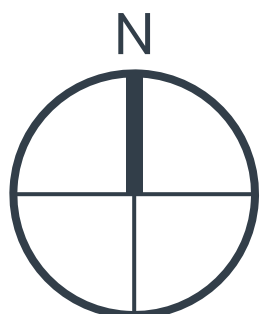
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



AXONS



AXONS











Town of Abita Springs Planning & Zoning Public Hearing

February 27, 2025

Notice is hereby given that a public hearing will be held by the Town of Abita Springs Planning and Zoning Commission at 6:00 pm on Thursday, February 27, 2025, at Town Hall, 22161 Level St., Abita Springs for the purpose of receiving public comments regarding the two following issues:

1. The revocation and/or swap of an approximately 15,000 square foot portion of unopened 13th Street between the St. Tammany Trace and St. Charles Street. A map of the area proposed for revocation is available at townofabitasprings.com/planningzoning
2. The [Abita Springs Safe Streets for All Action Plan](#) to be considered for adoption.

All interested parties shall have the right and opportunity to appear and be heard on the subject.

71351 ST. CHARLES STREET

Tracy McElveen



BOSSIER CITY SQ 45 (Fraction) 46 (Entire Block)

February 25, 2025

To whom it may concern.

My name is Tracy Mc Elveen. I am the owner of 71351 St. Charles Street Square 45 & 46. My grandparents bought the property in 1953. I acquired all the property in 2024. Upon having the survey done, I found out that we did not own everything my grandparents had fenced in. I found out that our driveway was 13th Street, and our garden was the continuation of St. Charles Street.

My daughter would like to build a house where the old house stands. The property has a pond on it. After having the survey done, we found out that the old house sits 2 feet on 13th Street. If I tear down the old house, I must go by the city code set back off the property line. The back left corner of the house is 32 feet from the pond. After doing the setback, I only have 10 feet to build the house.

I am asking the town of Abita Springs if they would be willing to trade 13th Street where it exists right now for the same amount of square footage on the left side of my property (50'x300'). By doing so, it will give the town of Abita Springs a better way to connect to 13th Street at the back of the property, if they ever decide to put the street in.

By me (Tracy McElveen), acquiring 13th Street, it will join square 45 and 46 together allowing me to build my daughter's house without any set back on the side of the house.

The property has been in our family for 72 years. I was raised there, and my daughter loves property and would like to raise her family there.

Thank you for your consideration.

Sincerely yours,


Tracy McElveen
504.800.1008



ST

TAMMANY TRACE

ST CHARLES ST

13TH ST

ST PETER ST





ST

TAMMANY TRACE

Unopened 13th St. 50'

50'

ST CHARLES ST

13TH ST

ST PETER ST



300'

125'

125'

275'

335'

50'

TAMMANY TRACE

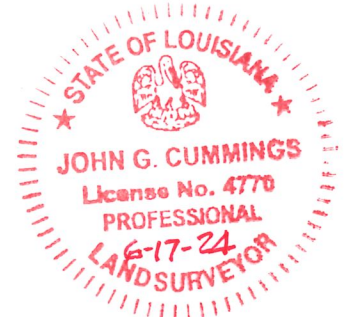
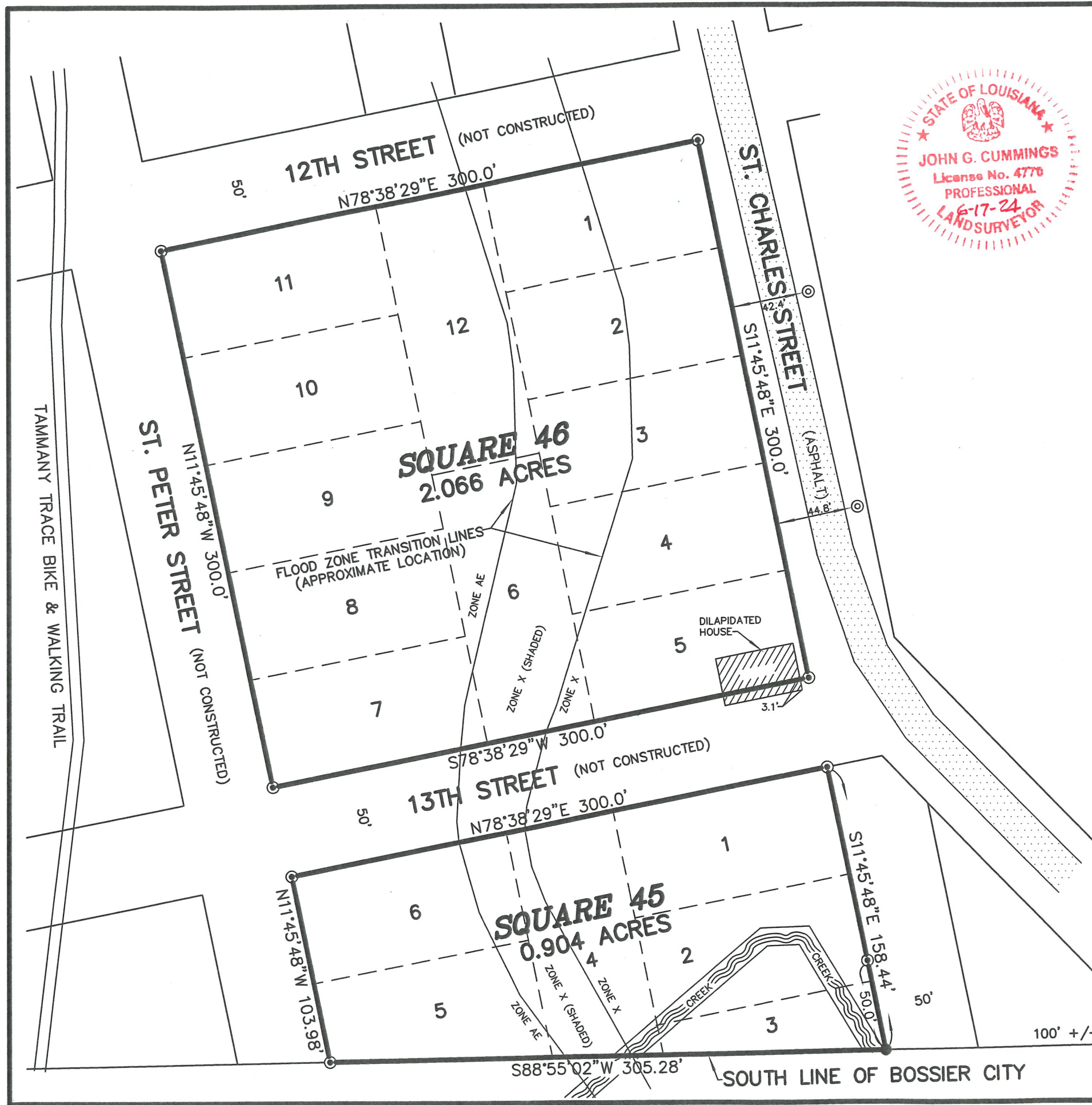
ST CHARLES ST

13TH ST

ST PETER ST

SWAP W/ TOWN FOR POTENTIAL FUTURE 13TH ST.





503 N. JEFFERSON AVE.
COVINGTON, LA 70433

John G. Cummings & Associates
PROFESSIONAL LAND SURVEYORS IN LOUISIANA & MISSISSIPPI
johncummings108@charter.net

PHONE (985) 892-1549
FAX (985) 892-9250

PLAT PREPARED FOR: **Tracy McElveen**

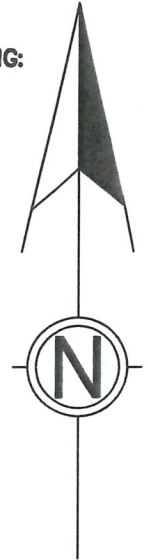
SHOWING A SURVEY OF: **SQUARE 45 AND 46, BOSSIER CITY ADDITION
TO THE TOWN OF ABITA SPRINGS, ST. TAMMANY
PARISH, LOUISIANA.**

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON
THE GROUND BY ME OR THOSE UNDER MY DIRECTION,
AND IS IN ACCORDANCE WITH THE APPLICABLE
STANDARDS OF PRACTICE AND BEARS A CLASS C
SURVEY.

John G. Cummings
PROFESSIONAL LAND SURVEYOR

SCALE: 1" = 60' DATE: 06/17/2024 JOB NO. 24099

REFERENCE BEARING:
Astronomic North
determined by
Solar Observations.



LEGEND

⊙ = 1/2" IRON ROD FOUND
⊙ = 1/2" IRON ROD SET

NOTES:

1. This property is located in Flood Zones AE, X(shaded) & X, per F.E.M.A. Map No. 220199 0002 C, dated May 17, 1988.
2. Building Setback Lines must be determined by Town of Abita Springs Planning Department.

REFERENCE SURVEY:

Plat of Bossier City by W. H. R. Hangen, Civil Engineer, dated March and April 1887, filed in the St. Tammany Parish Clerk of Court Office Map File No. 168.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORDS SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.



PLANNING AND ZONING COMMISSION STAFF REPORT

February 25, 2025

To: Planning and Zoning Commission

From: Kristin Tortorich and Mark Fancey

Subject: Request for an exchange of street right-of-way for a portion of the undeveloped 13th Street ROW - 71351 St. Charles Street, Tracy McElveen, applicant.

BACKGROUND

This request involves an exchange of a portion of undeveloped 13th Street right-of-way. The right-of-way to be exchanged is approximately 50 feet wide by 300 feet long (15,000 square feet) and bisects the applicant's property. The property is divided into two parts:

1. Northern Portion: A platted block (Block 46 of the Bossier City Addition), measuring 300 feet by 300 feet (2.08 acres). It contains 12 lots, each measuring 60 feet by 120 feet. This portion also includes a pond of about 0.70 acres.
2. Southern Portion: A smaller area that is a portion of Block 45 of the Bossier City Addition, approximately 0.91 acres (29,743 square feet), located south of the undeveloped right-of-way.

The applicant proposes exchanging the undeveloped right-of-way for an equally sized area along the south property line. No utilities are located in the right-of-way of unopened 13th Street. The only utility line on the subject property is a 2-inch water line that is running under Square 46. The property is undeveloped, with an abandoned residence adjacent to the right-of-way, and both properties have access to St. Charles Street. The property does not contain any designated wetlands, according to the National Wetlands Inventory.



BOSSIER CITY SQ 45 (Fraction) 46 (Entire Block)



PROCESS

Town Code Sections 9-127 through 9-134 describes the process and relevant criteria for review of proposed right-way revocations and exchanges. Section 9-127 requires Planning and Zoning Commission approval prior to any action by the Board of Aldermen regarding revocation or exchange of any public street right-of-way. The Planning and Zoning Commission must conduct a public hearing prior to making any such approval.

COMPLIANCE WITH APPLICABLE CRITERIA

Town Code Section 9-128 outlines the criteria for determining the revocation or exchange of public street right-of-way. To approve such actions, the Planning Commission must determine that the right-of-way is no longer necessary for public use and will not be needed in the foreseeable future.

Furthermore, it must be established that denying the revocation, sale, or exchange would cause the adjacent property owner significant hardship. However, the Planning Commission must be convinced that the action will not merely benefit the property owner but will address a substantial hardship. Any decision must also resolve all claims the adjacent property owner may have against the Town of Abita Springs, while ensuring that surrounding properties are protected.

FINDINGS

To approve the proposed exchange, the Planning and Zoning Commission must determine that the existing right-of-way proposed for exchange is no longer necessary for public use.

The 13th Street right-of-way was dedicated as part of the Bossier City Addition and was originally intended to provide access to adjacent platted lots providing a connection with the existing street grid and St. Charles Street. The land use pattern in the area along St. Charles Street has developed into

several larger residential lots (0.5 acres and larger) with a more rural character than a platted block development.

The presence of the Tammany Trace to the west of the subject property has limited the number of street connections between St. Charles Street and adjacent neighborhoods. Only 6th Street has been extended from St. Charles Street across the Trace. Several streets (7th, 8th, and 9th) have been extended from St. Charles Street far enough west to provide adjacent property access but have not been extended across the Trace to make effective street grid connections.

The National Wetland Inventory identifies a forested wetland drainage that experiences seasonal flooding located about 130 feet east of the Tammany Trace. The wetland area generally parallels the Trace and extends from 10th Street south approximately 0.28 miles. A portion of the wetland is located between the subject property and the Trace. The presence of the wetland may have also limited street extensions in this area.

MASTER PLAN

Section 4 of the Abita Springs Comprehensive Master Plan provides Goals, Policies and Action Items pertaining to the transportation system.

The following from the Master Plan is applicable to this request.

Master Plan Goal 4.6: Increase Connectivity and Number of Possible Routes for Pedestrians, Cyclists, and Drivers by Healing the Grid and Creating Additional Routes

4.6.3 Pursue in collaboration with the Parish and State, the following new street or street extensions	
B	Extend 12 th Street to St. Charles Street across Tammany Trace.

Action Item 4.6.3 put an emphasis on extending 12th Street across Tammany Trace as an additional connection, diminishing the need to develop the 13th Street right-of-way.

The Planning and Zoning Commission must also determine that denying the exchange of the street right-of-way will cause the adjacent property owner unusual and practical difficulties of particular hardship. The Commission must determine that granting the exchange will not merely serve as a convenience to the adjacent property owner but will alleviate some demonstrable and unusual hardship or difficulty so great as to warrant the disposal of public property. At the same time, The Commission must determine that surrounding property will be protected because of the exchange.

The applicant has submitted a letter describing the circumstances on the property (see attached). The existing house on the property, (which is uninhabitable) extends two (2) feet into the 13th Street right-of-way. The applicant's daughter would like to construct a new home in this area, however meeting the required 20-foot side yard setback would place the new building within 10 feet of the pond. Adding the unopened right-of-way to the existing property would ensure that this setback can be met.

The photo below shows the undeveloped 13 Street right-of-way as viewed from St. Charles Street looking west.



Conclusions

Based on the land use pattern in the area and the stated preference of the Master Plan to develop the 12th Street right-of-way, there does not appear to be a demonstrable need to retain and develop the 13th Street right-of-way. Given the existing street pattern and the direction from the Master Plan, it does not appear that an additional 13th Street right-of-way needs to be dedicated in exchange for the revocation of the existing right-of-way.

The applicant has submitted evidence describing the unusual and practical difficulties in reconstructing a house on this portion of the property given the presence of the existing pond and the required building setbacks. Increasing the size of the applicant's property to allow for construction of a residence replacing the existing residence on the property should not adversely impact surrounding properties that include the Tammany Trace and acreage home sites.

Section 9-129 of the Town Code outlines the decision options for Planning and Zoning Commission in making a recommendation on the proposed exchange.

SEC. 9-129. ACTION BY THE PLANNING COMMISSION.

After a public hearing held on the matter the planning commission within 60 days of application for revocation, public sale, private sale, or exchange shall recommend to the board of aldermen the following:

- (1) Accept the application as presented.
- (2) Accept the application with the recommendation for either a revocation, public sale, private sale, or exchange of the street right-of-way.
- (3) A recommendation of partial disposition of the street right-of-way by any method provided herein.
- (4) Recommended the disposition of the street right-of-way, in whole or in part, by any method provided for with the retention of servitudes, which servitudes shall be defined.
- (5) Deny the application for the disposition and recommend no action to be taken by the Board of Aldermen of the Town of Abita Springs.

RECOMMENDATION

Based on the findings in this report, staff recommends that the Planning and Zoning Commission forward a favorable recommendation to the Town Council for the revocation of the 13th Street ROW as provided by Sec. 9-129 (2) without an exchange, as there appears to be no need for the additional ROW.

- (2) Accept the application with the recommendation for either a revocation, public sale, private sale, or exchange of the street right-of-way.

Sample motion: I move to recommend to the Town Council revocation of the undeveloped 13th Street right-of-way located between Block 45 and Block 46 of the Bossier City Addition.

DRAFT PROPOSED DISTRICT FRAMEWORK

DISTRICT	PURPOSE STATEMENT	PROPOSED CHANGES
Conservation Residential <i>(Existing district)</i>	The purpose of the Conservation Residential District is to maintain Abita Springs' rural character, conserve natural areas, and maintain environmental quality. The district regulations are designed to protect the rural, residential character of the areas by limiting commercial activities. To preserve the rural openness of the areas, certain minimum yard and lot size standards must be met.	Currently "low-density residential" district but is not mapped. Mapping this in areas with larger lots where high intensity greenfield development is not desired would preserve natural areas of the Town while allowing property owners use of their land. Proposed changes to existing standards are minimal, and include permitting mobile homes with standards similar to those currently found under the "Residential" district.
Traditional Residential <i>(Existing district)</i>	The purpose of the Traditional Residential District is to provide a general residential type district which encourages a traditional suburban neighborhood style development pattern on lots of moderate to large size.	Currently the "Residential" district and is mapped on most of the Town's residential property. Proposed changes include permitting duplexes, and clarifying that mobile homes are permitted <i>outside</i> of the historic district subject to certain additional standards. Also, change current lot dimension requirements to streamline standards and introduce standardized setback and greenspace requirements.
Original Plat Residential <i>(New proposed District)</i>	The purpose of the Original Plat Residential District is to permit the development of single family detached homes on lots of record that were subdivided as neighborhoods during the early history of Abita Springs, but were subsequently never developed. Land within this district should include lots that are platted in a traditional neighborhood layout and abut unimproved Town owned right of way.	This district is meant to provide for thoughtfully developed single-family homes situated on historically platted lots that would not be permitted to develop under current lot area and setback requirements. This district is not meant to be applied to large lots intended to be subdivided into smaller parcels for greenfield development, but should be applied to existing historic lots of record that were never developed.
Townhouse Residential <i>(Existing district)</i>	The purpose of the Townhouse Residential District is to allow for a larger number of single-family homes to be built on a given parcel of land compared to a standard single-family detached zone, creating a denser residential area while maintaining an aesthetically pleasing development pattern. This can be used to address housing needs in areas with limited space while preserving a neighborhood feel.	No proposed changes.

DRAFT PROPOSED DISTRICT FRAMEWORK		
DISTRICT	PURPOSE STATEMENT	PROPOSED CHANGES
Multi-Family Residential <i>(Existing district)</i>	The purpose of the Multi-Family Residential District is to accommodate multiple dwelling units within a single building or complex, providing individual living spaces for various residents within one location, such as apartments, condos, or townhomes.	No proposed changes.
Town Center Mixed Use <i>(New proposed district)</i>	The purpose of the Town Center Mixed Use District is to provide the midtown area with a compelling mix of uses that enables the development of residential housing, retail shops, offices, restaurants, and entertainment options all within walking distance, creating a vibrant, pedestrian-friendly district similar to those found in small 19th and 20th century towns.	This new district is meant to combine and streamline the intent of existing districts, such as the Midtown Cultural District, Residential/Commercial Overlay, Historic District, and the various base districts mapped in the middle of the Town. Development standards will include minimal setbacks, and lower minimum parking standards compared to the general mixed use district.
Gateway Mixed Use <i>(New proposed district)</i>	The purpose of the Gateway Mixed Use District is to provide a mix of uses that enable the development of medium intensity residential housing, retail shops, offices, restaurants, and entertainment options, while taking into consideration the needed additional setbacks, landscaping, and parking requirements of properties located along the Town's main corridors.	This new district is meant to provide a mix of medium intensity uses along the corridors in and out of town. Compared to Town Center Mixed Use, this district has more restrictive development standards, including increased setbacks, landscaping, and parking requirements to improve the appearance and character of Town entryways.
Commercial <i>(Existing district)</i>	The Commercial District is meant to provide a range of higher intensity commercial uses that are more intense than those permitted in the Town Center Mixed Use District.	Proposed changes include updating the commercial development standards to be consistent with Historic District Design Guidelines in development and consolidating land uses with the Highway Commercial District.

DRAFT PROPOSED DISTRICT FRAMEWORK		
DISTRICT	PURPOSE STATEMENT	PROPOSED CHANGES
Light Industrial <i>(Existing district)</i>	The purpose of the Light Industrial District is to allow space for low-intensity industrial uses, while ensuring that adequate screening, buffering, and setbacks are applied to reduce potential nuisances to nearby properties. This district should be located away from residential or mixed-use districts.	The current Light Industrial District provides a list of outdated permitted uses and lacks modern development standards. Recommend updating the list of permitted uses to clarify less intense uses and provide a list of what undesirable uses are prohibited. Additional regulations regarding buffers, screening, and setbacks may also be applicable.
Parks <i>(Existing District)</i>	The purpose of the Parks District is to provide open space that is accessible to the public for recreational use.	No proposed changes.
Schools <i>(Existing District)</i>	The purpose of the Schools District is to provide space for public or private institutional type education uses.	No proposed changes.
Historic <i>(Existing Overlay)</i>	The purpose of the Historic District Overlay is to promote the educational, cultural, economic, and general welfare of the Town pursuant to the provisions of R.S. 25:731 to 25:745 and other statutory and constitutional authority supplemental thereto. The regulations established in the zoning ordinance and in this chapter are intended to preserve and protect the historic architecturally worthy buildings, structure, sights, monuments, streetscapes, squares, and neighborhoods of the historic area.	Proposed changes include streamlining district regulations and updating standards and processes in coordination with the Historic Commission and Town staff, as well as removing the text in Sec. 9-306 - Jurisdiction, which designates additional areas of town as within the historic district, in favor of incorporating the full extent of the currently administered historic district within the Town's official zoning map.
Midtown Cultural <i>(Existing Overlay)</i>	The purpose of the Midtown Cultural District is to encourage economic revitalization within the center of Town by taking advantage of the Louisiana Cultural Districts Program, which provides tax credits for the rehabilitation of properties within the district.	This existing overlay district includes additional restrictions on permitted use, building height, and parking. These regulations are often in conflict or cause confusion for property owners within the district. Proposed changes include removing land use controls and maintaining the Overlay for the administration of the State's rehabilitative tax credit incentives. The intent of current land use controls are recommended to be incorporated in the new Town Center Mixed Use District.

DISTRICTS RECOMMENDED FOR REMOVAL

Condominium	This district is currently confused with the Townhouse District on the zoning map. Furthermore, zoning ordinances do not typically control the structure of property ownership. Suggest removing this district entirely and deferring to the Townhouse District.
Mobile Home	This district is not currently mapped. Suggest removing this district entirely and clarifying permitted use provisions for mobile homes in other districts where this use would be considered appropriate.
C-1 Commercial	This district is a duplicate of the regular Commercial District, with added provisions for the construction of cell towers. Suggest removing this district and permitting cell towers as a conditional or special permitted use in the regular Commercial District.
C-2 Highway Commercial	A large portion of the land currently designated C-2 is mapped along the south side of Level Street between Highway 59 and Live Oak, an area which is recommended to be changed to Town Center Mixed Use. Recommend removing this district entirely and adopting the new Commercial District standards for commercial properties not located in a Mixed Use District.
Light Industrial II	Similar to C-1, this district is a duplicate of the regular Light Industrial District, with added provisions for the construction of cell towers. Suggest removing this district and permitting cell towers in the regular Light Industrial District subject to currently applicable development standards.
Residential/Commercial Overlay	Similar to the Midtown Cultural District, this overlay applies additional land use regulations on top of the base district, often in conjunction with the Midtown Cultural and Historic District Overlays. This creates confusion for property owners and makes administration of the code challenging. Recommend removing this and including similar accommodations within the Town Center Mixed Use District.



SHORT TERM RENTAL APPLICATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

OWNER INFORMATION

Name: Amy Dupuy
Mailing Add.: 71317 St Joseph Street
Phone: +19852499262
Email: lacostehairdesigns@yahoo.com

APPLICANT INFORMATION

Name: Amy Dupuy
Mailing Add: 71317 St Joseph Street Abita Springs LA70420
Phone: 985-249-9262
Email: lacostehairdesigns@yahoo.com

STR PROPERTY INFORMATION

Address: 71317 St Jospheh 71317 St Jospheh Street Abita Sprin
Mailing Add.: _____

Zoning: Short Term Rental
of off-street parking spaces: 4
of bedrooms: 3

MANDATORY DOCUMENT CHECKLIST

- ☒ Proof of Ownership (deed, HUD, etc.)
- ☒ Fire Inspection Compliance Report
- ☒ Certificate of Insurance
- ☒ Occupational License (www.townofabitasprings.com/occupational-license)
- ☒ Site & Floorplan (must include all interior rooms, square footage, parking, fire exits, escape routes, utility disconnects including the electrical panel and water main valve)
- ☒ "Welcome information" shall be posted in a conspicuous location on an interior wall inside the short-term rental for the safety and convenience of the occupants. As an alternative to posting, the information may be provided in a "welcome binder" placed on a coffee table, kitchen table, or other prominent location in the short-term rental.
 - address of the short-term rental,
 - location of the nearest hospital,
 - Emergency Number of 911,
 - current non-emergency police telephone number
 - dates and approximate times of trash and recycling pick up and procedures,
 - Emergency Contact: Name and phone number of the designated responsible party,
 - emergency evacuation instructions,
 - floor plan showing emergency exits and shutoff valves,
 - a statement of the presence of natural gas in the residence if applicable.
 - Any short-term rental located in a residential district requires notice of the need to respect the peace and quiet of the neighborhood residents which shall state as follows: *"Please be a good neighbor by not making excessive noise or engaging in boisterous behavior, especially after 10:00pm. Such behavior can deprive your neighbors of the peaceful enjoyment of their homes".*

FEES

The application fee is \$25.00. The annual permit fee for a short-term rental permit is \$250.00.

PERMIT TERM

The permit term for all short-term rental permits shall run from April 1 to March 31 of each year, regardless of when issued. All permits must be renewed annually.

RENEWAL

If an application is a renewal, it must be submitted by March 1st. The application will be reviewed administratively by the Planning and Zoning Director. Permits shall be issued upon remittance of applicable fees and a determination that the applicant follows all town ordinances. Properties found, in the Mayor's Court, to be in violation of town ordinances which have not been remediated at the time of the application are ineligible for renewal.

EMERGENCY CONTACT AVAILABLE 24/7

(Must be less than 1 hour from STR)

Name and phone number will be listed on the Short-Term Rental Permit

Name: Amy Dupuy

Physical Address: 1901 Highway 190 Unit 1925 Mandeville LA 70448

Phone Numbers: 9852499262

Email: lacostehairdesigns@yahoo.com

ACKNOWLEDGEMENT

- I will maintain a minimum of \$500,000 of valid business liability insurance on the rental property.
- Smoke and carbon monoxide detectors are installed and operable where required.
- Emergency contact information and the short-term rental permit will be clearly posted on premises.
- My rental property complies with all applicable regulations.
- All ingress and egress locations in the building are unobstructed, maintained, and operational.

I understand that I am responsible for compliance with all applicable local, state, and federal regulations. I further understand my responsibilities under the Town of Abita Springs Code of Ordinances and that violations of any of these could lead to the revocation of my short-term rental permit and additional penalties. I hereby certify that the above information is true and correct to the best of my knowledge.

APPLICANT

Signature:  Print Name: Amy Dupuy

Date: 2/24/25

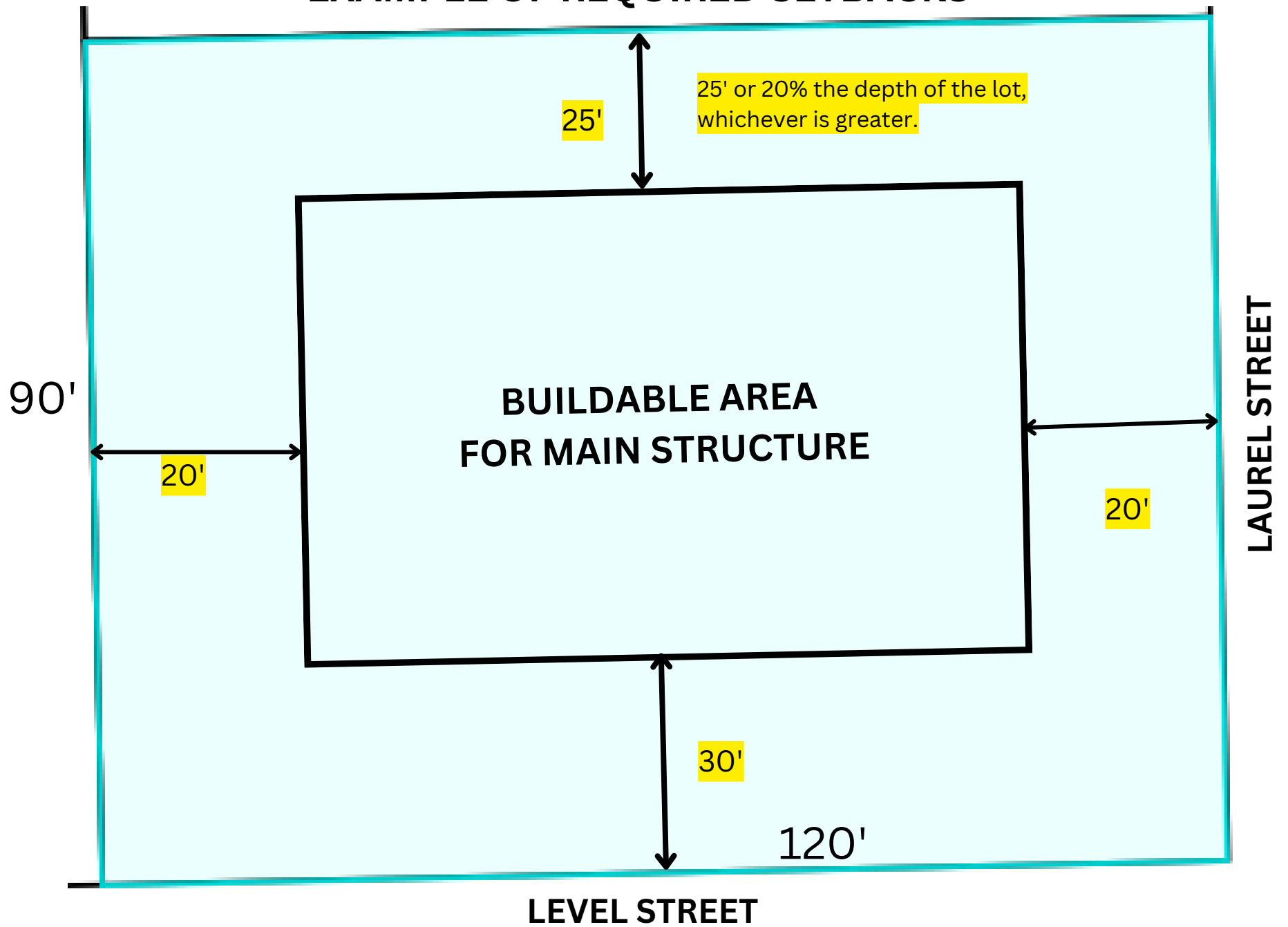
Office Use Only

Received By:	KMT	Date:	2/25/2025	Time:	9:40PM
Permit #					

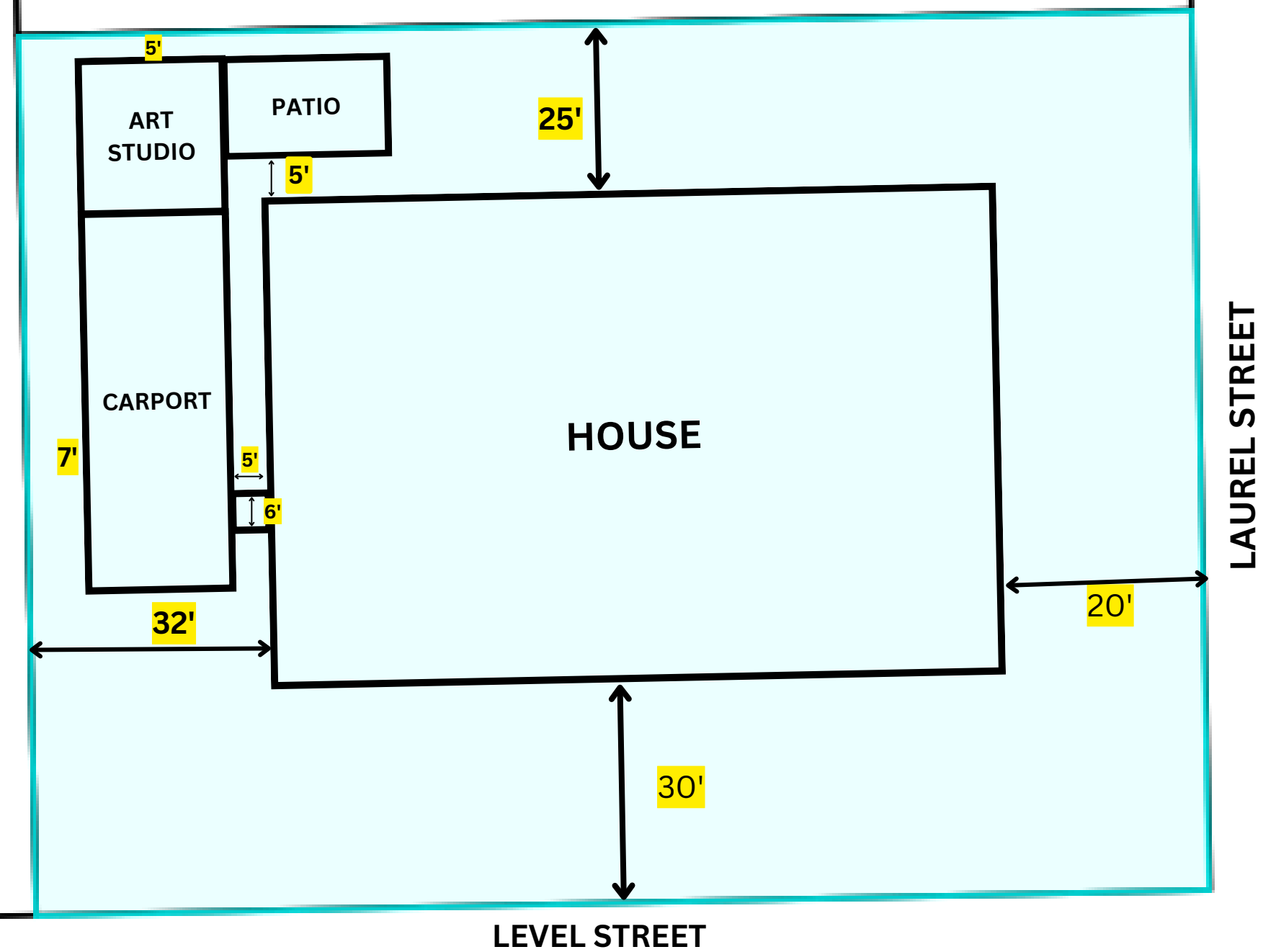


22201 Level Street

EXAMPLE OF REQUIRED SETBACKS

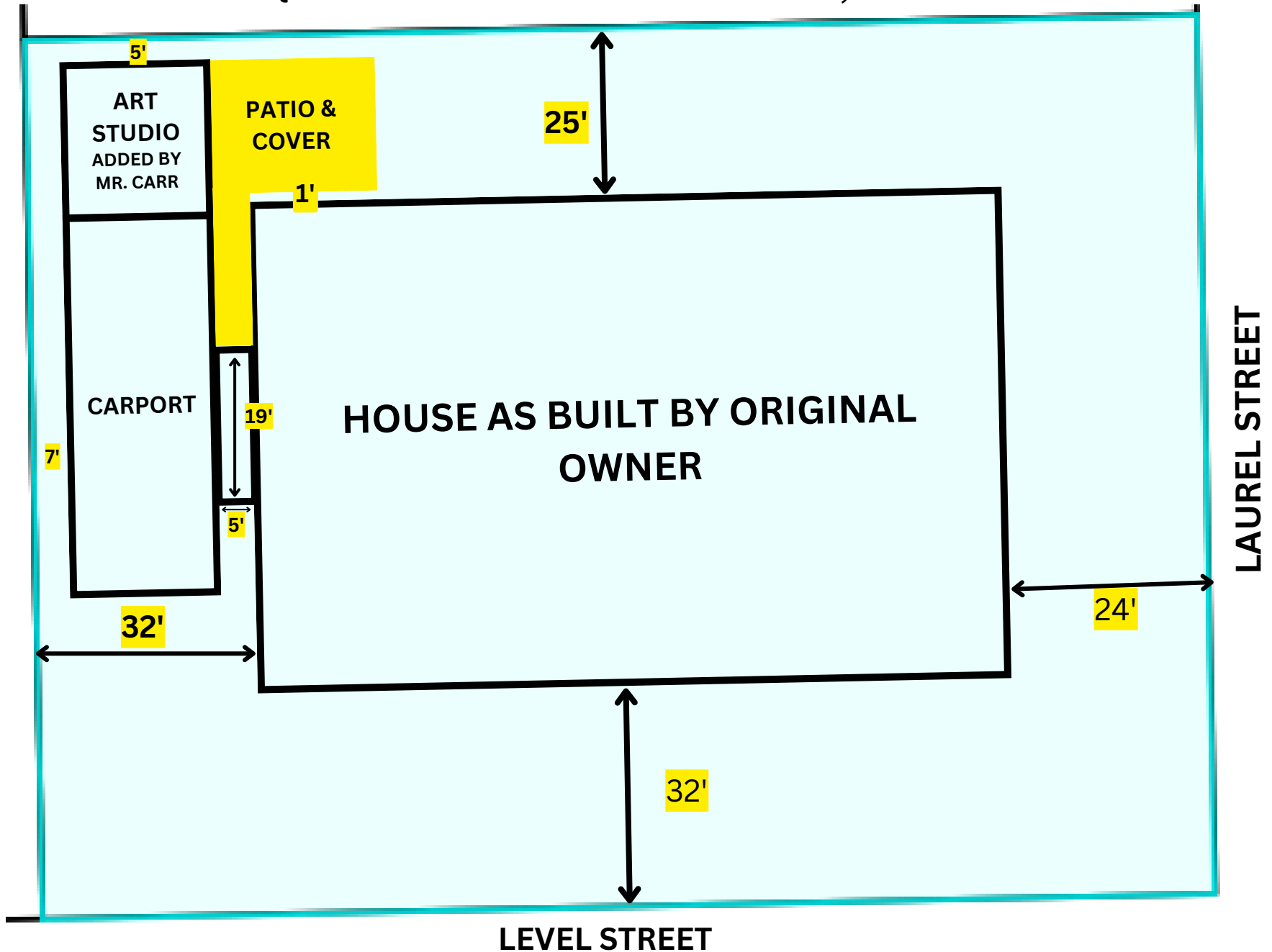


You can build an appurtenant structure in your setbacks, if it is 5' from the main structure and 5' from the property line. The appurtenant structure can be connected by a breezeway that is no shorter than 5' long and no wider than 6'



AS BUILT

YELLOW SHOWS REQUESTED ADDITION. APPROVED BY HISTORIC, CONTINGENT ON PZ VARIANCE





22201 Level Street

LEVEL ST

SEC. 9-223. YARDS AND APPURTENANT STRUCTURES IN RESIDENTIAL DISTRICTS.

(a) In the low density residential, residential, commercial, multifamily, mobile home, historic, historic residential districts and townhouse district where single family residential use is sought the minimum dimensions of yards shall be as follows:

- (1) Front yard. There shall be a front yard of not less than 30 feet between the front property line at the street and the wall of the building adjacent to the front property line.
- (2) Rear yard. There shall be a rear yard having a depth of not less than 20 percent of the lot depth or 25 feet, whichever is greater.
- (3) Side yard. There shall be two side yards, one on each side of the main building.
 - a. Each side shall be a minimum of 20 feet in width, except on buildable lots measuring 75 feet or less in width, in which case the side yard on any interior lot line side of the building shall measure a minimum of 15 feet in width.
- (4) Driveways. All private driveways shall be at least five feet from the property line.

(b) No variance shall be granted to these requirements for any irregular shaped lot located in the townhouse district which does not meet minimum residential lot size, and dimension requirements. Such lots may not be combined to create a regular shaped lot.

(c) In areas zoned residential, accessory buildings may be constructed provided that use and construction be limited to the following:

(1) Limitations:

- a. **An appurtenant structure shall be not less than five feet from the main building. An addition to the main building on a lot shall be considered to be part of that building and not an appurtenant structure.**
- b. Size and height restrictions of accessory buildings shall be in accordance with section 9-215 Residential district (f)(1) and (2) and section 9-215.1 Low Density Residential District (g.)
- c. An appurtenant structure shall not occupy the yard between the further of either the front entrance or the wall of the main dwelling and the front street.
- d. **Any addition to an appurtenant structure shall be considered to be part of that building.**
- e. **No appurtenant structure shall be closer than five feet to the nearest property line on the lot it occupies.**

(Ord. No. 108, § 19.32, 9-4-79; Ord. No. 152, 8-18-87; Ord. No. 175, 1-28-94; Ord. No. 188, § VI, 6-18-96; Ord. No. 209, 8-18-98; Ord. No. 318, 3-26-07; Ord. No. 446, 9-17-2013; Ord. No. 497, § 3-19-2019; Ord. No. 505, 11-19-2019; Ord. No. 522, 7-20-2021; Ord. No. 523, 9-21-2021)

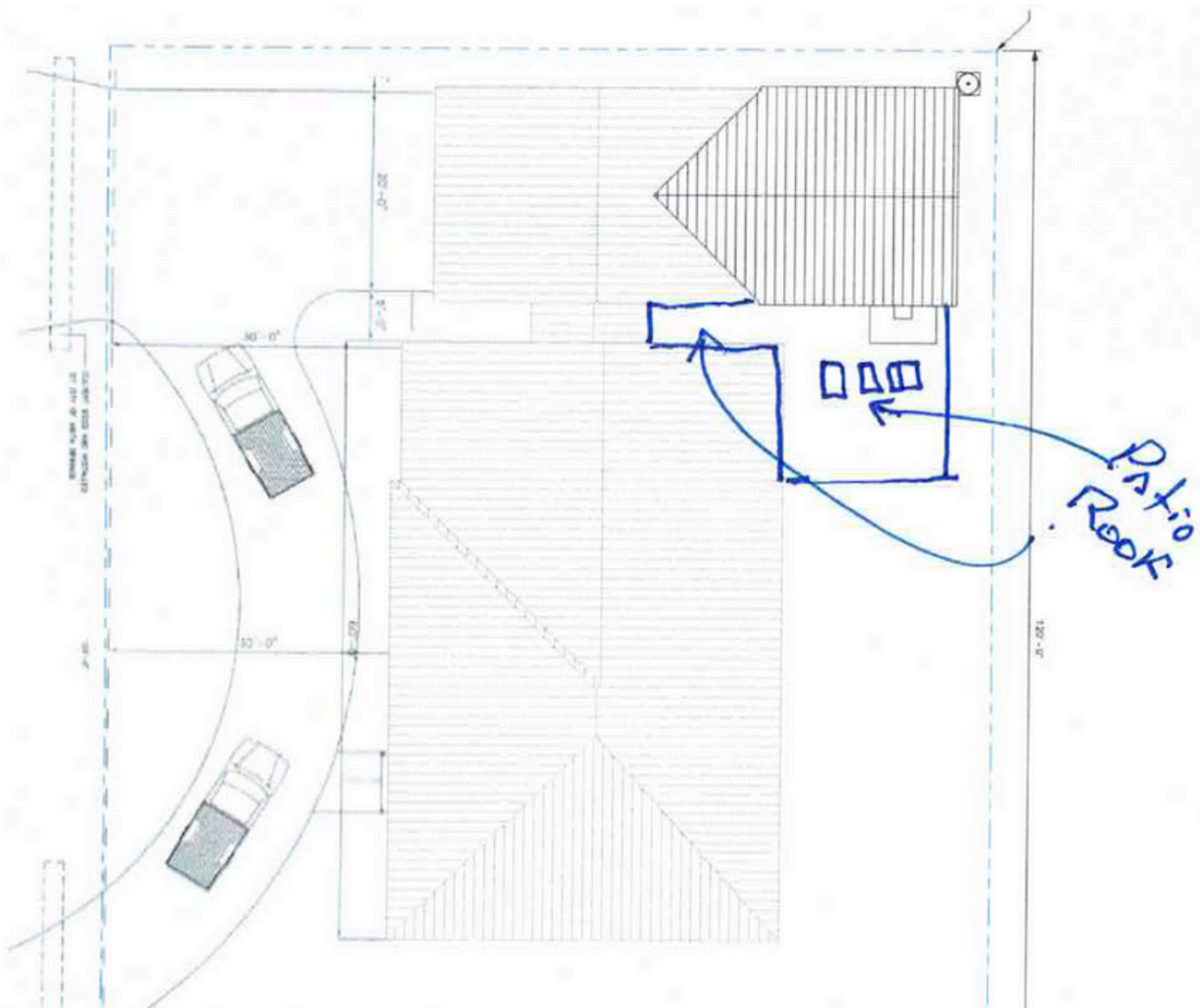
SEC. 9-502. - CONSTRUCTION OF BREEZEWAYS.

The following requirements must be met:

- (1) Must be at least five feet in length. (Any structure is required to be at least five feet from any house.)
- (2) A maximum of six feet wide.
- (3) All sides must remain open.
- (4) The roof of the breezeway must match either the house or the appurtenant structure.

(Ord. No. 254, 7-15-03; Ord. No. 505, 11-19-2019)

Level





1d' connection

